



COMMUNITY DEVELOPMENT
DEPARTMENT

CITY OF SACRAMENTO
CALIFORNIA

300 RICHARDS BOULEVARD
3rd FLOOR
SACRAMENTO, CA
95811-0218

Planning Division - Zoning Administrator Development Project Routing Form

DATE: May 17, 2017

FILE NUMBER: Z17-049

TO:

X Building Inspections	X Geographic Senior
X City Council District - 5	X Parks - MC #190000
X Design Review	X Police Plan Review
X DOT Traffic Studies - Zarah Bringas	X Team Lead -
X Environmental	Urban Forest Services
X Fire - King Tunson #2528	X Utilities
X Long Range Planning	Other:
X Other:	
X Neighborhood Groups: Franklin Boulevard Business Association & Sierra Curtis Neighborhood Association	

FROM: Arwen Wacht, Associate Planner
Phone #: 916-808-1964

E-mail: awacht@cityofsacramento.org

PLEASE RESPOND BY: 6/14/2017

Attachments: https://sacramento.civicsight.com/#search_term=Z17-049

PROJECT DETAILS:

Project Name: Connatural Organics Cooperative, Inc - Conditional Use Permit Application
Project Location: 3752 W PACIFIC AVE
Assessor's Parcel Number: 019-0022-007-0000, 019-0022-023-0000, 019-0022-024-0000
Applicant's Name: Andrew Main
Applicant's Phone Number: 916-869-7219

PROJECT DESCRIPTION:

A request for marijuana cultivation in an existing warehouse building and adjacent parcels in the Heavy Commercial Plan Review (C-4-R) zone. This request requires: a Conditional Use Permit for marijuana cultivation; and Site Plan and Design Review for minor changes to the exterior of an industrial building and new parking lot area.

Entitlements:

Conditional Use Permit for marijuana cultivation within an existing industrial building in the Heavy Commercial Plan Review (C-4-R) zone.

Site Plan Review Only - No Bldg under 1 Acre Site Plan and Design Review for minor exterior changes to an existing industrial building and a new parking area.

Planning Entitlement Application for Marijuana Cultivation

The City of Sacramento Planning Division has designed this application to obtain important information about your proposed project that will help to expedite the application review process. Please complete all sections, providing as much detail as possible regarding the scope of your proposal.

Subject Site Information

Project Name: Connatural Organics Cooperative, Inc -Conditional Use Permit Application

Zoning: C-4-R

General Plan Designation: _____

Site address or location of property: 3752 W. Pacific Avenue, Sacramento, CA 95820

Assessor's Parcel Number(s): 019-0022-007 & 0244023

Total property size in acres (Gross/Net): _____

Square feet if less than one (1) acre: 22,600 SF

Lot dimensions: _____

Property Owner Information

Contact name: David Carlson

Company name: Campus Plaza Associates, A California General Partnership

Mailing Address: 3801 W Pacific Avenue

City: Sacramento

State: CA

Zip: 95820

Phone: 916-457-9900

Ext: _____

Fax: 916-457-9917

Email Address: david.carlson@clire.com

Applicant Information

Contact name: Andrew Main

Company name: Connatural Organics Cooperative, Inc.

Mailing Address: 2804 Gateway Oaks Drive, Suite 200

City: Sacramento

State: CA

Zip: 95833

Phone: 916-869-7219

Ext: _____

Fax: _____

Email Address: crafthydro@gmail.com

Licensed Architect/Design Professional: Ramon Baguio; calplandesign.com; 310-562-5382

Staff Use Only

Date Filed: 04/05/17

Received By: dwacht

File Number: 217-049

Project Narrative

Please describe the scope of work being proposed for review. Your "Project Narrative" will provide Planning staff with a clear vision of what you are proposing to do. Answer in complete sentences in the space below or on a separate attachment. The description of your project should include ALL the entitlements being requested for your project. You must state any deviations from development standards and any deviations from applicable design guidelines. Provide as much detail as possible regarding all the characteristics of your project and the scope of work requiring review:

SEE PLAN DESIGN ATTACHED HEREWITH

Cultivation License Information

Please respond to the following pertaining to proposed business operations permit licensing for the site by checking either #1, #2, #3 or #4 below and answering the related questions:

1. _____ The applicant is the property owner of the proposed cultivation site.

a. ☐ YES ☐ NO Property owner plans on applying for a cultivation Business Operations Permit*.

If yes, permit type _____

b. ☐ YES ☐ NO Property owner plans on leasing portions of site to other cultivators.

c. ☐ YES ☐ NO Property owner does not plan on cultivating and will lease site out to one or more cultivators.

2. _____ The applicant is not the property owner but is acting as an agent for the property owner. The applicant does not plan to cultivate at the site. (Letter of Agency is required)

a. ☐ YES ☐ NO Property owner plans on applying for a cultivation Business Operations Permit*.

If yes, permit type _____

b. ☐ YES ☐ NO Property owner plans on leasing portions of site to other cultivators.

c. ☐ YES ☐ NO Property owner does not plan on cultivating and will lease site out to one or more cultivators.

3. XXX The applicant is not the property owner but plans on cultivating at the site and has the property owner's permission to apply for a conditional use permit. (Letter of Agency is required)

a. Applicant's proposed cultivation Business Operations Permit type: CLASS A

4. _____ Other

a. Please explain: _____

*Revenue Division Business Operations Permit type is based on canopy size:

Class A: No more than 5,000 square feet

Class B: 5,001 to 10,000 square feet

Class C: 10001 to 22,000 square feet

Land Use

What is the current use of the site? Metal fence company storage and operations

Please list all previous land use(s) of site for the last 10 years. _____

Hours of operation of the proposed use: 8:00 am to 6:00 pm

Number of shifts: 2 Number of total employees: 5

Number of employees per shift 2-3 employees per shift

Neighborhood Contact/Community Relations

Please describe any contact you have had regarding the project with the following: neighbors/property owners adjacent to the subject site, neighborhood associations, business associations, and community groups in the project area. If you had a community meeting, please describe how you advertised the meeting and meeting attendance. Attach a separate statement if desired.

PLEASE SEE ATTACHMENT-EXHIBIT # _____

A Community Relations Plan is required to be submitted to the Revenue Division before a Business Operating Permit can be issued. The plan is to describe who is designated as being responsible for outreach and communication with the surrounding community, including the neighborhood and businesses, and how the designee can be contacted. A primary goal of the plan is to encourage neighborhood residents to call the community relations manager to solve problems, if any, before any calls or complaints are made to the city.

Please check the appropriate boxes:

A Community Relations Manager has been designated for the project site: ☒ YES ☐ NO

If yes, please list the name and contact information (phone number and/or email):

Andrew Main; 916-869-7219; crafthydro@gmail.com

A Community Relations Plan is a part of this application submittal: ☒ YES ☐ NO

If no, remember a plan will be required to be submitted for this site to the Revenue Division before a business operations permit can be issued.

Neighborhood Responsibility Plan

The purpose of the Neighborhood Responsibility Plan (NRP) is to address the adverse impact of marijuana cultivation on the area surrounding the cultivation site. Title 17 of the Sacramento City Code requires a

NRP to be submitted at the time of conditional use permit application. A template on page 27 is provided for your use.

Please check one:

☒ XX The NRP submitted as part of this application is an agreement to contribute 1% of the gross receipts of the marijuana cultivation business.

☐ The NRP submitted as part of this application is an agreement to pay a NRP fee that will be established by a development impact fee study.

☐ An alternative NPR is submitted as part of this application.

Neighborhood Context Map

An accurate straight-line drawing depicting the boundaries of the subject property, the boundaries of all other properties within 600 feet of the subject property, and the uses of those properties. If the map shows, when completed, that the dispensary is within 600 feet of a public or private K-12 school, the application cannot be accepted. If the map shows, when completed that the site is within 600 feet of a neighborhood park or a community park, as defined by the City of Sacramento Parks and Recreation Master Plan, the cultivation site does not qualify for Zoning Administrator review and must be review by the Planning and Design Commission.

☒ YES ☐ NO The neighborhood context map shows that the project site is greater than 600 feet from a public or private K-12 school. If the answer is no the application cannot be accepted.

☒ YES ☐ NO The neighborhood context map shows that the project site is greater than 600 feet of a neighborhood park or a community park, as defined by the City of Sacramento Parks and Recreation Master Plan. If the answer is no a Planning and Design Commission conditional use permit is the requested entitlement.

Security Plan

A draft security plan is required as part of the conditional use permit application submittal. Sacramento City Code Section 5.150.450 contains the minimum components required in the written security plan. The security plan should also include protocols for day-to-day operational security and identify potential risks, remedies and contingency plans. A separate photometric plan for the site should also be included in the plan.

As the draft plan contains sensitive information pertaining to the proposed business it will be sent directly to the Police Department and City Revenue Division for their review. The draft plan will not be a part of the routing to other agencies and groups. A final security plan is required prior to issuance of a business operations permit by the Revenue Division.

☒ YES ☐ NO A draft security plan is included in this application submittal. If the answer is no the application is incomplete and cannot be accepted.

Site Characteristics

Providing the following information regarding the environmental setting of the project with your application is one the most effective ways to expedite your project's environmental review. If your site contains structures, large trees, mature vegetation, natural drainage ways, low lying areas where water pools during the rainy season, or wetland areas, supplemental information may be requested to conduct the environmental review of your project.

Are there any **structures** or **buildings** on the project site?

☒ YES ☐ NO

If yes, how many? SEE ATTACHED PLAN DESIGN

What is the construction date of each structure/building? _____

Current Use of Existing Structure(s)? _____

Proposed Use of Existing Structure(s)? _____

Are there any **trees** on the project site?

☐ YES ☒ NO

Are there trees proposed to be **removed**?

☐ YES ☐ NO

Does your site contain any **natural drainage** ways?

☐ YES ☐ NO

Does your site contain any **wetland areas** or areas where water pools during the rainy season?

☐ YES ☐ NO

What land uses surround your site? (for example, single family or multi-family residential, commercial). Please describe:

Are you proposing any new **fencing or screening**?

☐ YES ☒ NO

If yes, please describe the location of the fencing, the height, and the materials (i.e. wood, masonry, etc.):

Is there **parking** onsite?

☒ YES ☐ NO

If yes, how many spaces are existing (for the entire property) and how many are proposed onsite with this project?

Existing SEE DESIGN PLAN

Proposed _____

Are you proposing any parking offsite?

☐ YES ☐ NO

If yes, where is it to be located and how many spaces? _____

Are you proposing to waive any parking spaces?

☐ YES ☐ NO

If yes, how many? _____

Are there any **easements** crossing the site?

☐ YES ☒ NO

Are there any **trash/recycling** enclosures onsite?

☐ YES ☐ NO

If yes, what is the size of the enclosure(s) and where are they located?

Please describe the height and materials.

What is the total number of cubic yards allocated for recycling?

Building Setback from Property Lines: Existing (feet'-inches") Proposed (feet'-inches")

Front		
Rear		
StreetSide		
Interior Side		

What are the front setbacks of the two nearest buildings (on adjacent property) on the same side of the block? If there are no other buildings/properties, please write "N/A."

1st Address: _____ 2nd Address: _____

Setback: _____ Setback: _____

Exterior Materials

Existing Exterior Building Materials: _____

Existing Roof Materials: _____

Existing Exterior Building Colors: _____

Proposed Exterior Building Materials: _____

Proposed Roof Materials: _____

Proposed Exterior Building Colors: _____

Building Size (see exhibits)

Breakdown square footage in gross square feet

Cultivation in Existing Building(s)

Existing building square footage: _____

Proposed building square footage (if addition/renovation is proposed): _____

New Construction

Total building square footage: _____

Breakdown of use of building square footage

Cultivation Area

(include canopy details, for example one level vs stacked): _____

Warehouse Area: _____

Office Area: _____

Storage Area: _____

Assembly Area: _____

Enclosed/Structured Parking: _____

Other Area (please describe): _____

Canopy details

Do you plan to stack the cultivation area(s)?

☐ YES ☐ NO

If yes please describe: _____

Building Height

Existing building height (Measured from ground to highest point): _____ ft. _____ # of floors

Proposed building height (Measured from ground to highest point): _____ ft. _____ # of floors

Lot Coverage

Total Building Coverage Area, including existing and proposed structures (sq. ft.): _____

Project Site Lot Area (sq. ft.): _____

Total lot coverage percentage: _____%

Example: building area (2000')/ lot area (5000') = 40% total lot coverage

*Include all covered structures (patios, porches, sheds, detached garages, etc.)

Sign

Only one exterior sign to advertise the business is permitted. The sign cannot be illuminated and cannot exceed six square feet in area. The sign may be attached or detached.

☒ YES ☐ NO The location and size of a sign is indicated on the submitted plans.

Odor Control Plan

**(Optional for CUP application but recommended;
Required for Business Operating Permit)**

A detailed plan describing the air treatment system, or other methods, that will be implemented to prevent marijuana related odors generated by the project from being detected outside the building(s) on the site will be required before a business operations permit is issued by the Revenue Division. The odor control plan can be submitted for preliminary review with the conditional use permit application.

☒ YES ☐ NO I am submitting an odor control plan for review with my conditional use permit application.

Energy Efficiency

The conditional use permit application will be routed to SMUD for their review. Applicants may contact SMUD Strategic Accounts at strategicaccounts@smud.org or 1-877-622-7683 for help finding the best way to provide reliable and efficient energy solutions for their business.

☐ YES ☒ NO I have met with SMUD staff and discussed energy efficient for my project.

If yes, please provide the date you met with SMUD and the name of the SMUD representative:

Building Division Project Manager

The Building Division assigns project managers to projects with a valuation of over a million dollars. To assist the Building Division in planning for cultivation building permit applications, please answer the following question.

☐ YES ☒ NO The project valuation is one million dollars or greater.

If the answer is yes, the project will be assigned a project manager at the time of formal building permit submittal.

Wastewater Management Plan

The conditional use permit application will be routed to the City Utilities Department for their review. Please respond to the following questions on a separate sheet of paper to assist the department in the review of your project. If you have questions, please contact Rebecca Lane rlane@cityofsacramento.org in the Department of Utilities.

☒ YES ☐ NO I have included answers to questions 1-6 below on a separate piece of paper as part of this application submittal.

1. Please describe efforts you are exercising/planning to exercise to reduce or eliminate, or otherwise control any pesticides, fertilizers, or other substances used within your cultivation process, as it relates to potential accidental discharge into the wastewater system.
2. How are pesticides, fertilizers or other substances stored, and what mechanisms (i.e., secondary containment systems) are in place to prevent an accidental discharge into the wastewater system?
3. Please describe what mechanical provisions you have in place to prevent any potential overflow of water and/or wastewater.
4. Please describe with detail the "recycling" process of your irrigation system, and the anticipated percentage of unusable water as compared to water used in operations (example: "Our irrigation process will utilize approximately 90% of the water coming into our facility for irrigation purposes with approximately 10% ineligible for reuse. Our irrigation process is as follows...and results in approximately 10% of unusable water, which becomes discharged wastewater.").
5. What is the volume of water accumulating because of condensation related to your climate control system, and how do you use this water? Because this water may contain elements of pesticides, fertilizers, and/or other substances used within your operations, do you filter or otherwise recycle, and do you have secondary containment measures in place? Please describe.
6. Please indicate whether a water meter and backflow device have been installed at the site. If installed, please provide proof that these two items are existing on the site.

Design Guidelines

Design Guidelines have been established by the City Council for every area of the City. The intent of the Design Guidelines is to foster and maintain a level of quality in building development that supports desirable neighborhoods, livability, and community value, consistent with the City's General Plan. The City's Design Review areas and the Design Guidelines applicable to your project (either the Neighborhood Commercial Corridor Design Principles or the Industrial and Business Park Design Guidelines) can be found at:

www.cityofsacramento.org/Community-Development/Planning/Urban-Design/Design-Review/Design-Guidelines

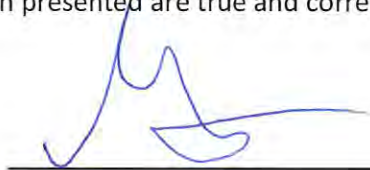
- ☒ YES ☐ NO I have read the applicable Design Guidelines and have completed the Design Guidelines Checklist for the district or area of this project.
- ☒ YES ☐ NO This project meets all the Design Guidelines listed on the checklist.
- ☐ YES ☒ NO This project proposes to deviate from the Design Guidelines.

Please note: For projects involving historic Landmarks or their sites, or properties within Historic Districts, please include the Secretary of the Interior's Standards for Historic Properties, and Guidelines for Interpreting the Standards, as part of your responses to the Design Guidelines questions above.

Application Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this application to the best of my ability and that the facts, statements and information presented are true and correct to the best of my knowledge and belief.

Applicant
Signature:



Date: 4-5-17

Staff Use Only

Zoning Information

Zone/Overlay: _____
Special Planning District: _____
Planned Unit Development: _____
Design Review District: _____
Historic District: _____ Historic Landmark: ☐ YES ☐ NO
General Plan Designation: _____
Council District: _____
Previous file numbers: _____

Planning Entitlement Type

☐ **Commission
Level**

☐ **Director Level**

- ☐ General Plan Amendment
☐ Rezone

- ☐ Tentative Map
☐ Subdivision Modification
☐ Variance

- ☐ Site Plan and Design Review
If deviation:

- ☐ Development Standard
☐ Design Guideline

List a brief description of
deviation (s):

- ☐ Schematic Plan Amendment
☐ Conditional Use Permit

Information Verified by (Planner Name): _____

Date: _____

City of Sacramento

Letter of Agency

If the applicant is not the owner of record of the subject site, a Letter of Agency from the owner or the owner's authorized representative must be submitted which grants the applicant permission to apply for the requested entitlement(s). The Letter of Agency must be notarized.

Date: April 3, 2017

To: City of Sacramento
Community Development Department
300 Richards Boulevard,
Third Floor
Sacramento, CA 95811

Community Development Department:

I, the undersigned legal owner of record, hereby grant permission to:

Applicant: CONNATURAL ORGANICS COOPERATIVE, INC. Phone: 916-869-7219

Applicant's Address: _____

to apply for a conditional use permit for a marijuana related land use and any other associated entitlements (list any other entitlements): _____

The subject property located at: 3746, 3752, 3754 W. PACIFIC AVE.

Assessor's Parcel Number: 019-0022-024, 019-0022-007, 019-0022-023, 019-0022-022

Printed Name of Owner(s) of Record: CAMPUS PLAZA ASSOCIATES

E-mail Owner of Record: CARLSON@CLIRE.COM

Address of Owner of Record: 3801 W. PACIFIC AVE. UNIT A Phone: (916) 457-9900 x2
SACRAMENTO, CA 95820

Signature of Owner of Record: [Signature] 4/6/17
(must be original signature)

DANA
ELSWORTH

CALIFORNIA CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)

County of Alameda)

On April 3, 2017 before me, Danielle Gum Notary Public
(here insert name and title of the officer)

personally appeared Dana Ellsworth.

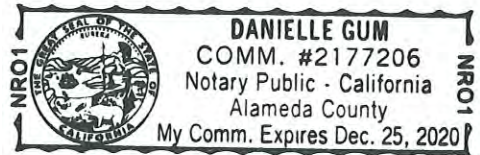
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature

Danielle Gum



(Seal)

Optional Information

Although the information in this section is not required by law, it could prevent fraudulent removal and reattachment of this acknowledgment to an unauthorized document and may prove useful to persons relying on the attached document.

Description of Attached Document

The preceding Certificate of Acknowledgment is attached to a document titled/for the purpose of _____

containing _____ pages, and dated _____

The signer(s) capacity or authority is/are as:

- ☐ Individual(s)
☐ Attorney-in-Fact
☐ Corporate Officer(s) _____
Title(s) _____

- ☐ Guardian/Conservator
☐ Partner - Limited/General
☐ Trustee(s)
☐ Other: _____

representing: _____
Name(s) of Person(s) or Entity(ies) Signer is Representing

Additional Information

Method of Signer Identification

Proved to me on the basis of satisfactory evidence:
☐ form(s) of identification ☐ credible witness(es)

Notarial event is detailed in notary journal on:
Page # _____ Entry # _____

Notary contact: _____

Other

- ☐ Additional Signer(s) ☐ Signer(s) Thumbprint(s)
☐ _____

INDUSTRIAL AND BUSINESS PARK

Site Plan and Design Review

Guidelines Checklist

Applicant's Name: Conastural Organics Cooperative Phone: (916) 868-7219
Project Address: 3752 W. Pacific Ave Sec. 1A Email: crafthydro@gmail.com

Applicant shall fill out the design guidelines checklist for all guidelines applicable to the project. Check the box if meets guideline and indicate in the comments how the guideline is met. Indicate NA if a design guideline is not applicable. Any design guideline that the project does not meet shall be indicated as a deviation with a comment explaining the rationale for the deviation.

I. SITE DESIGN GUIDELINES

A. BUILDING ORIENTATION

- ☐ Building orientation and positioning of other elements on a site (e.g., entrances, parking lots, and driveways) shall be planned to assure a viable, safe, and attractive site design. Site planning considers how the various components of a development (e.g., buildings, circulation, parking, open space, etc.) relate to adjacent streets and existing development, and how the various components relate to each other within the development site.

Comments / Deviations:

Staff Comment:

B. PARKING LOT DESIGN AND VEHICLE CIRCULATION

- ☒ Parking areas shall provide vehicular access without compromising pedestrian accessibility and the character of the public realm.

Comments / Deviations: See proposed Site Plan

Staff Comment:

C. LANDSCAPE ELEMENTS

- ☒ Landscaping shall be used in a variety of functions, including softening the edges of development, screening unattractive views, buffering incompatible uses, providing shade, and increasing the overall aesthetic appeal of a project.

Comments / Deviations: Shading for parking lot

Staff Comment:

D. SCREENING AND FENCING

- ☐ Screening and fencing play an important role in securing a site, as well as defining property boundaries. It shall be designed to project a high quality image for the area.

Comments / Deviations:

Staff Comment:

INDUSTRIAL AND BUSINESS PARK

Site Plan and Design Review Guidelines Checklist

II. ARCHITECTURAL DESIGN GUIDELINES

E. BUILDING HEIGHT, MASSING, AND SCALE

- ☐ The architectural design of a structure shall consider many variables, from the functional use of the building, to its aesthetic design, to its "fit" within the context of existing development. Buildings shall achieve the appropriate level of design detail on all facades, and avoid blank or unarticulated facades.

Comments / Deviations:

Staff Comment:

F. BUILDING FACADES

- ☐ Building facades shall be designed to create visually interesting buildings that offer variety in industrial and business park areas.

Comments / Deviations:

Staff Comment:

G. ENTRY FEATURES

- ☐ Entry features of industrial and business park buildings shall be clearly visible, accessible, and designed as a significant aspect of the building's overall composition.

Comments / Deviations:

Staff Comment:

H. WINDOWS AND DOORS

- ☐ The proper placement and design of windows and doors shall be used to create visual interest in buildings, and contribute to the stylistic coherence of development along the street.

Comments / Deviations:

Staff Comment:

I. COLORS AND MATERIALS

- ☐ Color shall be used in a way that complements the surrounding structures and adds to the liveliness and character of industrial and business park areas. Buildings shall be constructed of high-quality materials that will promote the longevity of the structure, and provide a pleasing appearance as the materials age. Incorporate features that reduce water consumption.

Comments / Deviations:

Staff Comment:

J. LIGHTING

- ☐ Lighting fixtures shall be designed to complement and enhance the architectural style of the building and should be compatible with the character of the area.

INDUSTRIAL AND BUSINESS PARK

**Site Plan and Design Review
Guidelines Checklist**

Comments / Deviations:

Staff Comment:

K. ROOF FORMS

- ☐ Roofs shall be given design considerations and treatment equal to that of the rest of the building's "exterior" and should be integrated within the architectural theme of industrial and business park buildings. Building rooflines shall include variations to avoid long, continuous planes, demonstrating special design treatments where there is a major change in an element of a building's facade.

Comments / Deviations:

Staff Comment:

L. SERVICE AREAS AND UTILITIES

- ☐ Service and utility areas, including loading docks, storage areas, mechanical systems, and trash bins, shall be screened from view and integrated into the design of a project.

Comments / Deviations:

Staff Comment:

M. CANOPIES AND AWNINGS

- ☐ When incorporated into a building, canopies and awnings shall be made of high-quality components that complement the overall design, colors, and materials of the building.

Comments / Deviations:

Staff Comment:

N. SIGNAGE AND GRAPHICS

- ☐ Building identification signs and graphics shall enhance the appearance of the building and contribute to the overall character of the street, while minimizing the appearance of clutter.

Comments / Deviations:

Staff Comment:

By signing below, the applicant certifies that this form accurately describes the proposed work.

Applicant's Signature: _____

Date: _____

Name of Planner: _____

FOR CITY STAFF USE ONLY

Counter Staff: _____

City of Sacramento
Community Development Department
=====

Accela
Permit Number: z17-049 1x 0.00 0.00

214 AA - Planning Technology Surcharge
1,142.24
-518.24
1x 624.00 624.00
Reference Number: Z17-049

227 AA - Environmental Review
1x 113.00 113.00
Reference Number: Z17-049

232 AA - Planning Entitlement - Utility
1x 304.00 304.00
Reference Number: Z17-049

269 AA - Other DOT Review Fees
1x 1,000.00 1,000.00
Reference Number: Z17-049

396 AA - Fire Admin Fee (Planning)
1x 154.00 154.00
Reference Number: Z17-049

397 AA - Fire Plan Review (Planning)
1x 140.00 140.00
Reference Number: Z17-049

741 AA - Flat Fee Entitlement App
1x 13,815.00 13,815.00
Reference Number: Z17-049

741 AA - Flat Fee Entitlement App
1x 350.00 350.00
Reference Number: Z17-049

=====

SubTotal: 16,500.00
Total: 16,500.00
=====

Cash PM 16,500.00

4/5/2017 11:27 Tatyana E
#9949737 /912/855
Receipt #: 10413903
***** DUPLICATE #002 *****

4/5/2017 11:28 Tatyana E
Thank you

City of Sacramento
Community Development Department
=====

Accela
Permit Number: z17-049 1x 0.00 0.00

214 AA - Planning Technology Surcharge
1x 518.24 518.24
Reference Number: Z17-049

=====

SubTotal: 518.24
Total: 518.24
=====

Visa Card
Number : *****1627 518.24

4/5/2017 11:28 Tatyana E
#9949738 /912/855
Receipt #: 10413909
***** DUPLICATE #002 *****

4/5/2017 11:29 Tatyana E
Thank you

**NEIGHBORHOOD RESPONSIBILITY AGREEMENT
FOR MARIJUANA CULTIVATION PROJECT**

This Agreement is made and entered into on _____, by and between _____ ("Property Owner"), and the CITY OF SACRAMENTO, a municipal corporation ("City").

RECITALS

- A. Property Owner plans to develop a marijuana cultivation project (the "Project"), identified by City Project No. _____, on real property (the "Property") owned by Property Owner and located at:

Address: 3752 W. Pacific Avenue
Sacramento, CA 95820

Assessor's Parcel #: 019-0022-007

- B. Development of the Project on the Property is subject to the special use regulations for marijuana cultivation in Sacramento City Code section 17.228.127.
- C. Sacramento City Code section 17.228.127 requires Property Owner to provide a neighborhood responsibility plan that addresses the adverse impacts of marijuana cultivation on the surrounding area. The section further states that compliance with the neighborhood responsibility plan can be achieved through an agreement with the City, conditions of approval on the use permit, or through other means acceptable to the City.
- D. The requirement for a neighborhood responsibility plan may be achieved through means other than this agreement. However, the Sacramento City Council has resolved that the Property Owner shall be deemed to have sufficiently mitigated its neighborhood impact and satisfied the neighborhood responsibility plan requirement for the Project if the Property Owner voluntarily enters into an agreement for either (a) the periodic payment of 1% of the gross receipts of every marijuana cultivation business on the Property, or (b) the payment of a fee in the amount established by a development impact fee study.

- E. The scope of the adverse impacts of marijuana cultivation developments on the surrounding community are not yet quantified as a specific payment obligation, because the impact fee study has not yet been completed. To meet scheduling requirements, Property Owner desires to proceed with development of the Project before completion of the impact fee study. Accordingly, Property Owner has offered to mitigate the adverse impacts of the Project on the surrounding neighborhood and meet the neighborhood responsibility plan requirement by entering into this Agreement.
- F. This Agreement sets forth the terms of the parties' understanding and agreement regarding the Property Owner's future payment.

AGREEMENT

Based on the facts and other matters set forth in the Recitals above, together with the covenants and agreements set forth below, the parties agree as follows:

1. Property Owner's Payment Options.

Property Owner agrees for itself, its constituents, successors and assigns, that Property Owner will mitigate adverse impacts of the Project on the surrounding neighborhood by one of the following payment options [indicated by Property Owner's initial]:

- ☒ **One Percent of Gross Receipts:** Pay a fee in the amount of 1% of the gross receipts of every marijuana cultivation business on the Property. Payment shall be made in accordance with section 2 of this Agreement.
- ☐ **Fee Established by Study:** Pay a fee in the amount established by a development impact fee study approved by the City Council. Payment shall be made in accordance with section 3 of this Agreement.

2. Payment of One Percent of Gross Receipts.

If the Property Owner selects the option to pay a fee in the amount of 1% of gross receipts, the following terms and conditions apply:

- a. Property Owner shall pay 1% of the gross receipts of every marijuana cultivation business on the Property for the term of the conditional use permit.

b. For purposes of this Agreement, the following definitions apply:

(1) "Marijuana cultivation business" has the same meaning as in chapter 5.150 of the Sacramento City Code.

(2) "Gross receipts" has the same meaning as in chapter 3.08 of the Sacramento City Code.

c. Payments shall be made monthly to the City of Sacramento, Department of Finance, Revenue Division at 915 I Street, Room 1201, Sacramento, California 95814. City may change the payment address by giving written notice of the change to the Property Owner.

d. Property Owner shall keep complete records of business activities and transactions including sales, receipts, purchases, expenditures and any other record and data relevant to establish and verify the payments made pursuant to this Agreement; and shall retain all such records and data for examination by the City for a period of at least three years. Upon request by the City, the Property Owner shall make such records available for inspection and audit at reasonable times and places for the purpose of administering and enforcing this Agreement.

3. Payment of Fee Established by Study.

If the Property Owner selects the option to pay a fee in the amount established by a development impact fee study in section 1 above, the following terms and conditions shall apply:

a. Property Owner shall pay a fee in the amount established by the development impact fee study approved by the City Council.

b. If the development impact fee study has not been completed and approved before the City's approval of the conditional use permit for the Project, Property Owner shall comply with the fee payment terms established by the study no later than 30 days after the City notifies Property Owner in writing. If the development impact fee study has been completed and approved before the City's approval of the conditional use permit for the Project, Property Owner shall comply with the fee payment terms established by the study prior to the City's approval of the conditional use permit.

c. Payments shall be made to the City of Sacramento, Department of Finance, Revenue Division at 915 I Street, Room 1201, Sacramento, California 95814. City may change the payment address by giving written notice of the change to the Property Owner.

4. Property Owner Obligations Relative to Establishing the Fee.

Property Owner understands and agrees that the amount of the fees to be imposed for the mitigation of adverse impacts of marijuana cultivation will be established based on a development impact fee study performed by or for the City. Property Owner further understands and agrees that an important component of this Agreement is Property Owner's advance consent to the establishment, implementation, and imposition of any such developer fees. City agrees that all property and property owners engaged in marijuana cultivation will be treated on a fair and equitable basis in respect to any such fees the City establishes and imposes.

Without limiting the generality of the foregoing, Property Owner for itself, its constituents, successors and assigns, as to the Property, specifically agrees to the following:

a. Property Owner hereby grants advance consent to the establishment, implementation, and retroactive application of any and all fees, exactions, assessments, taxes or other charges established or imposed by City for the purpose of funding the mitigation of adverse impacts of the Project on the surrounding neighborhood. Property Owner further agrees that it will not contest, challenge, or protest the retroactive imposition or application of any such fees, exactions, development fees, assessments, taxes or other charges so established or imposed by City. Without limiting the generality of the foregoing, Property Owner specifically waives the provisions of the Mitigation Fee Act (California Government Code section 66000, et seq.), or any other provision of law providing a procedure for contest or protest of establishment or imposition of fees, exactions, assessments, taxes or other charges of a similar nature.

b. Property Owner agrees and specifically represents to City that it is fully aware of all of its legal rights relative to the advance consents, waivers and other agreements set forth above, having been fully advised by its own independent attorneys. Having such knowledge and understanding of its rights, Property Owner has nevertheless voluntarily entered into this Agreement. Each party is aware that the other party is relying on the representations contained in this section 4 in entering into this Agreement.

5. Covenants Run with Property Owner's Land.

The parties agree that all of Property Owner's waivers, advance consents, and other covenants contained herein are covenants that run with the Property, in accordance with California Civil Code section 1486, and the burden thereof shall be binding upon Property Owner's constituents, successors and assigns. Property

Owner's compliance with this Agreement is a condition of the conditional use permit for marijuana cultivation issued by the City in accordance with Sacramento City Code section 17.228.127.

6. Term of Agreement.

The term of this Agreement shall commence upon its execution and shall remain effective until terminated by the mutual written agreement of the parties.

7. Property Owner's Representations Regarding Ownership.

Property Owner certifies that it owns full legal title to the Property. Each individual executing this Agreement on behalf of a corporation or partnership represents and warrants to City that he or she has been authorized to do so by the entity on whose behalf he or she executes this Agreement and that said entity will thereby be obligated to perform the terms of this Agreement.

8. Indemnification.

Property Owner agrees to indemnify, defend, and hold harmless City from any and all claims, costs, expenses, losses and liabilities of whatever nature and whatever kind, including attorneys' fees, made or caused either by signatories hereto or third parties not signatories hereto, that arise out of or are in any way related to, caused by, or based upon any breach of this Agreement by Property Owner or any negligent act of Property Owner under this Agreement.

9. Notices.

Any notice, tender, delivery, invoice or other communications pursuant to this Agreement shall be in writing and shall be deemed to be properly given when delivered to the following persons:

a. If to City:
CITY MANAGER
City of Sacramento
915 I Street
Sacramento, CA 95814

b. If to Property Owner:

Any party may change that party's address for these purposes by giving written notice of the change to the other parties.

10. Governing Law.

This Agreement and the legal relations between the parties shall be governed by and construed in accordance with the laws of the State of California.

11. Waiver.

The waiver by any party to this Agreement of a breach of any provision of this Agreement shall not be deemed a continuing waiver or a waiver of any subsequent breach of that or any other provision of the Agreement.

12. Partial Invalidity.

If any term or provision of this Agreement or the application thereof shall be determined by a court of competent jurisdiction to be invalid or unenforceable, or prohibited by law, the remainder of this Agreement, or the application of such term or provision to persons, entities or circumstances other than those as to which it is held invalid or unenforceable or prohibited, shall not be affected thereby, and each such term and provision of this Agreement shall be valid and be enforced to the fullest extent permitted by law.

14. Assignment.

This Agreement may not be assigned by either party without the written consent of the non-assigning party, and any purported assignment without such consent shall be void.

15. Entire Agreement.

This Agreement constitutes the entire agreement and understanding between City and Property Owner concerning the subject matter contained herein.

IN WITNESS WHEREOF this Agreement has been executed by the parties hereto on the date first above stated.

PROPERTY OWNER:

Print Name

By: _____
Title:

By: _____ *

Title:

** Note: If the Property Owner is a corporation, the following two signatures are required (1) the first signature by either the Chairman of the Board, the President, or any Vice President of the corporation; and (2) the second signature by either the Secretary, any Assistant Secretary, the Chief Financial Officer, or any Assistant Treasurer of the corporation.*

CITY OF SACRAMENTO

A Municipal Corporation

By: _____
Howard Chan, City Manager

APPROVED AS TO FORM:

City Attorney

ATTEST:

City Clerk

NEIGHBORHOOD RESPONSIBILITY PLAN

The neighborhood responsibility plan must address the adverse impacts of marijuana cultivation on the surrounding area. Compliance with the neighborhood responsibility plan shall be achieved through an agreement with the city, conditions of approval on the use permit, or through other means acceptable to the city.

One acceptable means for developers to comply with the neighborhood responsibility plan requirement is to enter into a neighborhood responsibility agreement with the City for the payment of money to be used by the city to pay for measures to mitigate the adverse impacts of the development on the surrounding area. The neighborhood responsibility agreements may either be for (a) the periodic payment of 1% of the gross receipts of every marijuana cultivation business on the subject property, or (b) the payment of a fee in the amount established by a development impact fee study.

NOTE: The City Attorney's Office is preparing an agreement that can be executed by applicants to satisfy the neighborhood responsibility requirement, if desired. When the agreement has been completed it will be added to this application and posted on the City's Marijuana Information page on the internet.

Community Relations/Benefits Plan (Connatural Organics Cooperative, Inc.)

Connatural Organics Cooperative believes in helping qualifying patients improve their quality of life by offering a variety of strains of medical cannabis to ensure that patients are being safely and consistently served. In addition to its commitment to patients, Connatural Organics Cooperative is dedicated to becoming an agent for positive change in the communities of the City of Sacramento.

The Company's Community Relations/Benefits Plan is designed to address areas of development that would benefit the City, and are important to the progressive mobility of the community.

Connatural Organics Cooperative's Community Relations/Benefits Plan will:

- A. Provide financial support for the ongoing development of material infrastructures (places of commerce, parks and public transportation);
- B. Generate community involvement and interaction between businesses and/or nonprofit entities, their owners, and the patrons that support them; and
- C. Raise public awareness about the dangers of drug abuse and provide assistance for those seeking addiction services.

Guidance & Leadership

A common mistake made by emerging businesses is to dedicate too much of their financial resources to the overall betterment of the communities they serve. That is, as well meaning as these companies may be, their lack of business planning oftentimes places them in financially precarious positions—struggling to meet the financial demands required to operate the company; while at the same time, fighting frantically to fulfill the monetary commitments and promises they have made to their own communities. These poorly planned businesses often find

themselves lacking the proper resources that are required to meet the “soft” needs of the Company—and that are absolutely critical for economic viability. Connatural Organics Cooperative intends to be a long-standing member of the Sacramento community, not simply a short-lived presence seeking to capitalize on the latest industrial trend. To this end, the Company will appoint a Community Relations Manager (CRM) to provide measured resource assistance to various City departments and community groups. The CRM will serve to provide feedback to city leaders, city managers, and the public at large.

City of Sacramento Infrastructure

First and foremost, the Company’s Community Relations/Benefits Plan is designed to significantly help improve the material conditions of the City that have a daily impact on the residents of Sacramento. In working directly with the Department of Public Works and the Department of Parks and Recreation, Connatural Organics Cooperative hopes to ensure the safe, secure and ongoing development of the City’s various sponsored projects. By offering financial and fundraising support to these programs, Connatural Organics Cooperative believes that it can significantly help improve the quality of life for residents of Sacramento.

On-Going Park Development

Connatural Organics Cooperative will contribute funds directly to the Department of Parks and Recreation to ensure the Department’s ability to continue to provide safe, secure and enjoyable environments for the community of Sacramento. In particular, the Company hopes to support the Department of Parks and Recreation as it continues to demonstrate excellence in the areas of sustainability, construction and community relations.

Generating Community Involvement

Connatural Organics Cooperative will encourage all staff members and employees to participate in voluntary public service. The Company believes this is one of the most effective ways to enhance the vibrancy of any community, and make meaningful contributions to the city. The Company recognizes that these contributions require strong leadership and organization skills, and has committed to the ongoing professional development of its employees. By providing a strong foundation for professional growth, employees will be able to succeed in all aspects of their lives, both inside and outside of the office.

Employees working for Connatural Organics Cooperative receive a wide variety of training and acquire a broad scope of skill sets that can prove invaluable to charitable organizations and nonprofit entities. Connatural Organics Cooperative, to continue fostering the leadership skills of its employees, will establish a leadership training program that will help employees become contributing board members, committee chairs, spokespeople and leaders in their own communities. Company employees will be available and encouraged to meet with local organizations to explain the cultivation process of medical cannabis and their pronounced benefits.

Connatural Organics Cooperative will immediately address any concerns that its presence may present in the immediate community when prompted. Employees will be able to explain the legal process through which the Company will be licensed to cultivate medical cannabis, and the steps taken to prevent the illegal diversion of medical cannabis. This will include an understanding of the history of cannabis prohibition and legislation in the State of California, and its general application throughout history.

Drug Awareness

Connatural Organics Cooperative is committed to raising awareness about the dangers of drug and narcotic abuse and will help those in need of addiction services to improve their quality of life. By partnering with various local nonprofit entities and charities that share similar goals, Connatural Organics Cooperative will be able to provide volunteer services, sponsor additional outreach programs and raise general awareness about the modes of treatment that are currently available. Once in operation, Connatural Organics Cooperative will reach out to the following entities in hopes of establishing a working relationship that will benefit the entire community of Sacramento:

Strategies for Change

Strategies for Change was founded in 1978 under the name Women's Stress Alternatives and was created with the purpose of treating women that had become addicted to prescription medications. Thirty-seven years later, it continues to treat addiction but has since expanded its range of services to include youth programs. Strategies for Change offers Mental Health Screening Assessments and Outpatient Substance Abuse Treatment programs. Their services also include Family Re-Unification programs.

National Council on Alcoholism and Drug Dependence

The National Council on Alcoholism and Drug Dependence has been offering addiction treatment services since 1974. NCADD Sacramento was founded with the intentions to provide gender specific treatment, which includes an outpatient treatment program for women. The program also features play care for children and specializes in the treatment of mental health issues. NCADD Sacramento also offers a Drug Diversion program, which is an education service for first-time offenders that have been referred to the program.

Professional and Community Outreach

To date, Connatural Organics Cooperative has contacted the following entities in an effort to build community awareness of its intended enterprise:

Dist. 5 - Councilmember Jay Schenirer
915 I Street, 5th Floor
Sacramento, CA 95814

Power Inn Alliance
5310 Power Inn Road, Ste. A
Sacramento, CA 95820
(916) 453-8888
info@powerinn.org

Strategies for Change-Sacramento
4343 Williamsborough Drive
Sacramento, California
(916) 395-3552

National Council On Alcoholism and Drug Dependence
2316 Bell Executive Ln, Sacramento, CA 95825
(916) 922-9217

CNC Auto Body
3951 Deeble St, Sacramento, CA 95820
(916) 706-0916

Fernalis Auto Works & Sales
3971 Deeble St, Sacramento, CA 95820
(916) 736-3969

HJ Ornamental Steel Supplies
3752 W Pacific Ave, Sacramento, CA 95820
(916) 731-8677

Firecode Safety Equipment
3722 W Pacific Ave, Sacramento, CA 95820
(916) 456-5561

Noriega's Auto Body
3836 W Pacific Ave, Sacramento, CA 95820
(916) 705-7288

Dated: _____, 2017

Respectfully Submitted By:

Andrew Main
Community Relations Manager

ENERGY EFFICIENCY PLAN CONNATURAL ORGANICS COOPERATIVE, INC. (PENDING SMUD ASSESSMENT)

Summary

Marijuana cultivation facilities have rushed to increase production and gain market share, and they have often overlooked energy considerations in the process. Indoor cannabis cultivation facilities are huge energy consumers with year-round loads; each marijuana plant consumes more energy than seven refrigerators and each cultivation facility may contain upward of 400 plants. In California, analysts anticipate a load growth of 80 to 160 average megawatts of power over the next 20 years due to cannabis production—the equivalent of a small city. (An average megawatt is equal to 8,760 megawatt-hours---and cannabis production is already estimated to consume roughly 1 percent of national electricity use, or \$6 billion each year. This plan proposes steps to implement methods for reduction of energy consumption by Connatural Organics Cooperative (“Connatural”) for their cultivation facility.

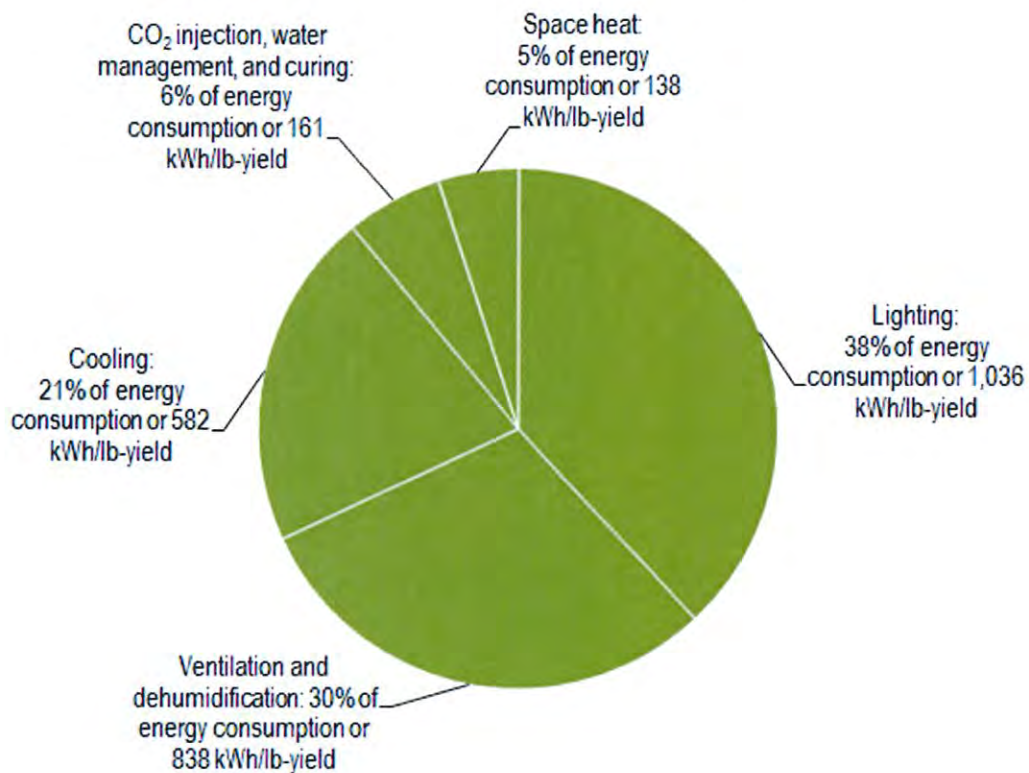
Characterizing a Typical Cultivation Facility

To identify where energy can be saved, it’s necessary to know where and how energy is being used. Although there is no “typical” cultivation facility, these facilities are often built in old warehouses. According to a national survey of legal growing operations by *Marijuana Business Daily*, 92 percent of legal cultivation occurs indoors and only 1 percent in greenhouses, although the number of greenhouse cultivation facilities is increasing. Indoor growing allows for more crop cycles per year, greater control of environmental conditions, improved security, and, as some believe, a higher-quality product. But it comes at the cost of greater energy consumption.

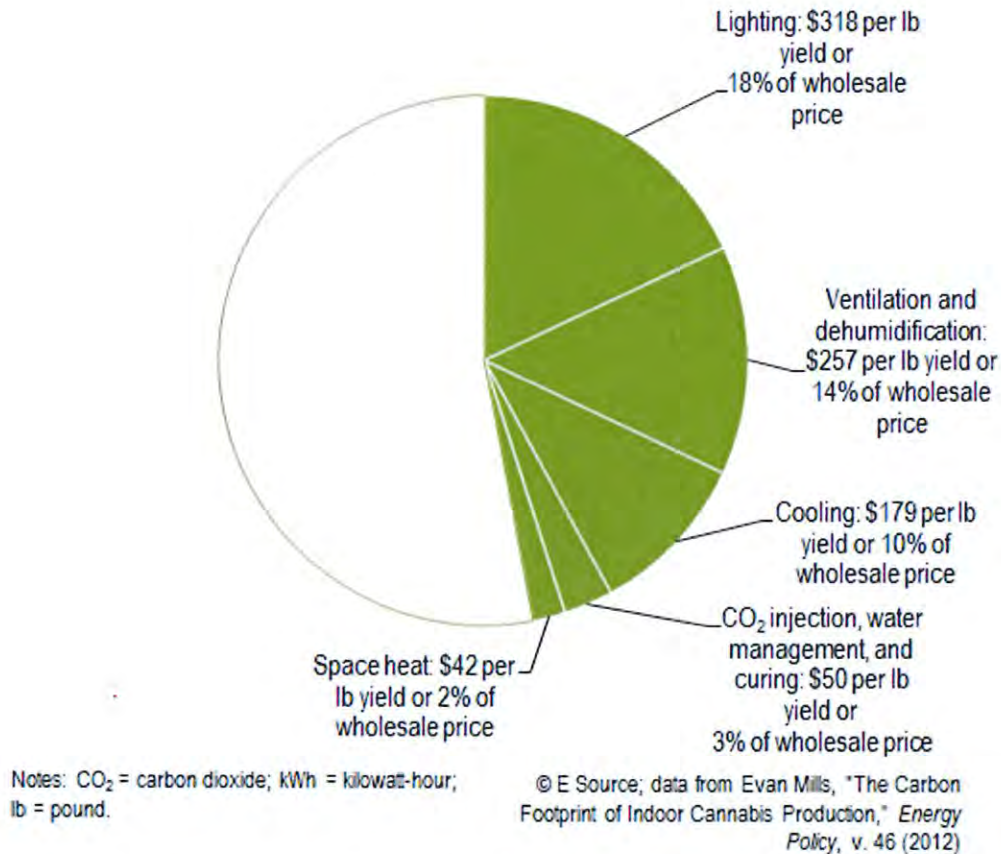
Lighting, cooling, and dehumidification dominate the energy costs of an indoor cultivation facility

Lighting constitutes the highest portion of the energy consumption of an indoor facility (A) and is also the main contributor to the cooling load, making the combined effects of indoor lighting the vast majority of load in indoor cannabis facilities. Energy costs make up almost 50 percent of the total wholesale cost of cannabis production (B).

A. Energy Breakdown of a Cultivation Facility



B. Energy Cost as a Fraction of Wholesale Price of Cannabis



Typically, there are three lighting stages for indoor growing: seed, vegetation, and flower. Plants are moved from room to room as they reach different stages of growth. In the earliest stage of growth, the seeding stage, plants are most commonly lit with tubular fluorescent lamps 24 hours per day for 2 to 4 weeks.

During vegetative growth—the growth of stems and leaves—lighting is commonly provided by metal halide (MH) lamps for 18 hours per day for the next 2.5 to 5 weeks. MH lamps offer a broad spectral output and high light intensity with typical wattages of 400 W or 1,000 W each.

In the flowering stage, lighting time is reduced to 12 hours per day to invoke a circadian response for blooming. The flowering stage typically lasts 60 days. Flower growth also requires higher-intensity light, with a portion of red spectrum for stimulation. As such,

400-W or 1,000-W high-pressure sodium (HPS) lamps are typically used because of their intensity, orange/red spectral peak, and low cost per light.

Year-round cooling with oversized packaged rooftop air conditioners. The heat generated from the agricultural lighting used for cannabis production dwarfs any external (outdoor) weather conditions, resulting in a need for year-round cooling. And the swift ramp up of production has typically led to facility operators “slapping on” a number of oversized packaged rooftop air conditioners (RTUs) to compensate for these internal heat gains. Again, there is no typical cultivation facility, but many use packaged RTUs to meet their cooling needs. Others use mini-split heat pumps or even window air-conditioning (AC) units.⁶

A constant need for dehumidification. Because plants produce water vapor as they grow, there is a constant need for dehumidification in indoor cultivation operations. Although ACs provide some dehumidification, it’s not usually enough to fully dehumidify the space while keeping temperatures within the desired boundaries. (ACs equipped with reheat control avoid this problem at the expense of additional energy consumption.) Therefore, many cultivation facilities use separate, dedicated dehumidification equipment. Some use numerous energy-consuming residential dehumidifiers.

Furthermore, ACs only provide dehumidification when they’re running, and they’re mostly running when the grow lights are on. Thus, separate dehumidification equipment is often needed to accommodate the lights-off periods.

Water management, curing, space heating, and CO₂ injection. Pumps and water-management equipment are needed to feed the plants; curing equipment is needed to produce the final product; space heating is required during the colder months when the grow lights are turned off; and carbon dioxide (CO₂) injection helps feed the plants.

Not all facilities use CO₂ injection, but the idea is to let the plants “breathe” as much as possible. Because plants consume CO₂ and produce oxygen, without fresh air ventilation or another source of CO₂, they would have a dwindling supply of CO₂ to consume.

Proposed Energy Efficiency Measures

The following energy-efficiency measures are proposed for the effectiveness in best reducing energy usage and costs.

1. Adjustment of Connatural Organics Cooperative's Facility Schedule to Reduce Utility Demand

During peak energy demand, Connatural will implement a varying schedule of lights-off period during the time that utilities charge the most for electricity—usually between 2:00 and 6:00 p.m.—this will dramatically reduce energy used at peak demand and act as cost savings to the business.

Utility demand charges are often calculated based on the greatest consecutive 15-minute power draw during the billing period. Reducing a facility's power draw, even without reducing its overall energy consumption, can save on demand charges. Scheduling the lights-on and lights-off periods in different rooms at different times can avoid having all the lights, and ACs, on at the same time, which will reduce overall energy demand and cost.

2. Perform Lighting Upgrades as Needed

Most cultivation facilities use single-ended HPS or MH fixtures. Connatural will seek to utilize newer ceramic metal halide (CMH) technology which offers a slightly broader spectrum, roughly 25 percent greater efficiency, and greater lamp life compared to standard MH fixtures. The CMH fixtures provide roughly 30 to 70 percent more usable light per watt than standard HPS lamps with electronic ballasts. The energy savings are likely even greater when compared to HPS lamps using older magnetic ballasts. Connatural will strive to constantly monitor and implement the best practices and technology available for energy reducing lighting allowing the best cultivation results.

3. Getting the Light on the Plants and Not the Floor or Walls

Connatural will monitor and ensure that as much light as possible is reaching the plants. For example, they will move the plants together without any gap between the leaves to form a solid canopy where possible, fix damaged reflectors, and adjust lamp height to

ensure good light distribution without being so close that the plants get burned.

Connatural will measure the light incident on the canopy to help locate darker spots that need more light stay informed of uneven light distribution that isn't visible to the naked eye.

Connatural will seek to implement Trellising in an effort to make the most of the light output. Trellising is the process of securing the upper portion of the stalk to a lattice. Branches, leaves, and flowers can then be arranged to allow for an even canopy and maximum light absorption.

4. Use Variable-Frequency Drive Retrofit Devices for Packaged RTUs

Connatural may seek to use Variable-frequency drive (VFD) retrofit devices to allow variable-capacity operation of single-zone packaged RTUs. When the cooling demand is lower than the capacity of the equipment (which is likely all of the time because equipment is often oversized to begin with), VFD retrofit devices slow the supply-air fan and/or the compressor to reduce energy consumption. This technology has been shown to reduce total HVAC energy consumption in typical commercial buildings by roughly 50 percent, which would equate to roughly \$15,000 per year for a facility with 120 plants. Many VFD retrofit devices also offer economizer controls and fault detection and diagnostics (FDD). FDD notifies facility operators if their equipment isn't operating properly, potentially avoiding unforeseen surprises

5. Removing Heat from the Source Rather than from the Room

Connatural will seek to capture and remove lamp heat directly from the fixtures before it spreads into the room thus saving energy. Once the heat is in the room, it takes a large amount of energy to move air around for cooling and dehumidification. As an example, as previously mentioned, simply slowing down the supply-air fan in typical commercial buildings has been shown to save roughly 50 percent of total HVAC energy consumption.

Air- and water-cooled lighting reflectors for CMH and DE-HPS lamps will be tested for their heat reducing capabilities. These devices have other benefits such as more directional light output to reduce light waste.

6. Use of Economizers

Economizers are devices integrated into RTUs that draw in outside air for “free,” nonmechanical cooling when the outside air is cool enough. In cold months or climates, when most other buildings are being heated to stay warm, the huge internal heat gains of the grow lights can be mitigated with cold, free, outside air. In dry climates, this has the added benefit of providing free dehumidification.

Connatural will seek to commission the economizer when it is installed and at least twice a year thereafter. Commissioning is the process of ensuring that building systems are designed, installed, functionally tested, and capable of being operated according to the owner’s needs.

7. Use Combined Conventional and Desiccant Dehumidification for Energy-Efficient Moisture Management

Connatural will utilize Desiccants, which are materials that readily attract water and can thus dehumidify air without mechanical cooling. Desiccants can potentially reduce HVAC electricity use by 30 to 60 percent and peak electricity demand by 65 to 70 percent. Outside air is first mechanically cooled to the dewpoint—the stage in which it is saturated with water vapor, but the vapor has not condensed. Saturated air is then fed to a desiccant system where the vapor is removed chemically, avoiding the energy-intensive condensation process.

The desiccant system is recharged with the heat from the condenser or another source. The benefits of this are twofold: The mechanical cooling runs very efficiently because it’s not cold enough to condense any water vapor, and the desiccant system runs very efficiently because the air enters in a saturated state.

ODOR CONTROL PLAN
Connatural Organics Cooperative, Inc.
Marijuana Cultivation

I. FACILITY INFORMATION

Connatural Organics Cooperative, Inc. ("Connatural")

Andrew Main, Facility Owner/Manager
(916) 916-869-7219
crafthydro@gmail.com

Facility physical and mailing address: 3752 West Pacific Avenue, Sacramento, CA 95820

This is a Cannabis cultivation site.

Hours of operation: Monday-Friday, 8:00 a.m.-6:00 p.m.

Connatural is comprised of highly successful entrepreneurs and the development and training of skilled and semi-skilled staff in the Cannabis cultivation market. The project aim is to carry out handcrafted premium Cannabis with an environmental friendly approach.

Emergency Contact: Andrew Main, 916-916-869-7219

II. FACILITY ODOR EMISSIONS INFORMATION

Facility Floor Plan

The 9,600 square foot building will encompass 5,000 square feet of canopy space. The canopy will be partitioned into two, 1,800 sq. ft. and two 700 sq. ft. flowering rooms. Each flowering room within the facility will be completely sealed with no outside air coming in and no air going out unless a door is being opened or closed. Each fully sealed flowering room will be equipped with Amaircare 4000V air cleaners that use carbon and HEPA filtration. The 4000V unit consists of a standalone unit with castor wheels attached the bottom which make it easy to move the unit for maintenance and storage. Each self-contained room will be free of any windows or outside air.

TBD Diagram: facility floor plan: with locations of odor-emitting activity(ies) and emissions specified, the location of doors, windows, ventilation systems, and odor sources.

A. Odor-emitting activities:

Each self-contained flower room will emit odor from the cultivation of Cannabis.

1. Each room will be sealed off and the measures mentioned above being taken the amount of odor will be drastically removed before being exposed to the remaining of the facility.
2. The facility will have additional air scrubbers located within the flowering rooms.
3. The vegetation rooms will also have secondary carbon filters that will remove any residual odor that is emitted from the grow rooms and vegetation rooms.
4. The facility will use ONA Gel throughout the A/C ducting system to remove residual odors.
5. Portable carbon filters will be utilized in our drying rooms as well as our designated trimming room.

B. Phases (timing, length, etc.) of odor-emitting activities:

1. Every two months the facility will be harvesting, each harvest lasts an average of 40-60 hours. This is typically when the most amount of odor is emitted from the flowers.
2. The vegetative process lasts between 2-3 weeks. During this period, the odor emitted is at a minimum and the carbon filters will eliminate the odor.
3. The vegetative process occurs every two months.

III. ODOR MITIGATION PRACTICES

We researched the best control technologies and best management practices for odor-emitting sources and processes, this plan will specify the administrative and engineering controls the facility implements or will implement to control odors.

A. Administrative Controls

Procedural activities

By using carbon filters throughout the facility, this will help eliminate any odor that is emitted from the vegetation and grow rooms.

1. Each person working in or around the facility will ensure that the doors are properly closed behind them each time that they are opened.
2. The facility does not have any windows that will allow odor to be emitted outside of the facility. This will help to alleviate the possibility of a window being accidentally left open or having a faulty seal which would allow the release of residual odors outside of the facility.
3. The facility manager will visually inspect door seals during the weekly walk through inspection to inspect the effectiveness of door seals, self-closing devices to ensure the door closes behind each person, and the working condition of each door.

4. All staff, while on duty within the facility, will wear disposable coveralls and gloves. Prior to exiting the facility, employee will discard such disposable coveralls and gloves in a properly designated receptacle.

Staff training procedures

The facility manager is responsible to train and educate all staff members about the importance of odor control. Each staff member will be trained initially during the new hire orientation.

1. Each staff member will understand what the duties are when it comes to controlling odor such as ensuring all doors to the facility remain closed and only opened during periods of staff entering or exiting the building.
2. Staff will be trained to report all incidents and/or concerns regarding odor to the facility manager.
3. Facility manager will implement a plan to contain and eliminate the odor.
4. On-going monthly team meetings will also serve as in person training of staff to raise awareness and keep open communication regarding any concerns regarding odor.

Recordkeeping Systems and Forms

The facility manager will be responsible for the oversight of the following logs:

1. Connatural Maintenance & Record Log - documents the replacement of carbon filters, maintenance intervals, and any malfunctions.
2. Connatural Training Log – documents the amount of training hours involving odor control.
3. Connatural Odor Complaint Log – documents any complaints involving odor concerns.

Each grow room will have its' own set of logs. The facility manager will be responsible for the record keeping of product serial or identification numbers that match the numbers on each unit to numbers that match the receipt during purchase. The log forms will aid in early notification of malfunctions and document any known malfunction reports, repairs, and dates of service.

B. Engineering Controls

Carbon Air Filtration System

The best control technology for marijuana cultivation facilities is carbon filtration. The Amaircare 4000 VOC Chem is a high-quality HEPA air purification unit that is true to the integrity of providing clean air.

The Amaircare 4000V system is designed to direct air out of four sides with downward exhaust to distribute clean air evenly. The standard Ultra VOC filter consists of 9475 g canister of granulated carbon for extreme chemical and gas pollution capture. Filters are contained and protected within a durable steel housing. The unit is mobile without the need for lifting. The high-performance air flow at a low running cost, minimal drain on electricity resources with years of continued performance. The second stage HEPA cartridge filters out 99.97% of particulate 0.3 micron and larger. The filters are convenient to access and change easily. The 1550 g of granulated carbon provide vital capture of chemical and gas pollution.

1. Each flowering room within the facility will be completely sealed with no outside air coming in and no air going out unless a door is being opened or closed.
2. Each fully sealed flowering room will be equipped with a 4000 VOC Chem unit. These air scrubbers are capable of cleaning 2,500 cubic feet per minute, which would mean that the total volume of air within the facility would be scrubbed of odors every 20 minutes.
3. There will also be portable carbon filters within all drying and trimming rooms.
4. Cannabis (marijuana) plant's scent is a complex pollutant that requires a HEPA filter ensuring the plant gets the fresh air it needs to grow and a carbon activated filter to purify its fragrance.

Since 1994, Amaircare's HEPA Clean Air Products have provided high performing air filtration solutions for industrial, commercial and institutional applications. Owned and operated in Mississauga, Ontario, they manufacture industry-leading air filtration solutions; with a focus on efficient air pollutant removal and exceeding industry and governmental safety regulations ensuring the cleanest air possible. Amaircare Service Professionals find solutions for our business that make our work environment clean, safe, and pollutant-free.

ONA Gel

ONA Gel formulations have been scientifically engineered to be environmentally safe. ONA is manufactured under strict quality controls to ensure a safe and non-toxic product.

1. ONA Gel will be used in the HVAC ducting to combat any residual odor emanating from flower rooms.

Carbon Filters

Throughout the facility there will be carbon filters to eliminate any odor that is emitted from the vegetation and grow rooms.

Operational processes

1. Daily visual inspections of equipment.
2. Weekly walk through inspections of the interior and exterior of the facility to determine if any odors are detected outside of the facility.

3. Schedule regular maintenance intervals, the facility manager will oversee to ensure that all equipment is operating properly and that the equipment is efficient in eliminating odors.
4. During periods of trimming, the facility manager will ensure that the odors are isolated and eliminated in the trim rooms.

C. Maintenance Plan

After we have implemented everything listed, we will continue to monitor the exterior of the facility for any indication of the smell of cannabis and adjust our odor control to address it. The facility manager will be responsible for the maintenance schedule and ensure that the maintenance plan is carried out and documented.

1. Walk through of interior and exterior of facility once per week to conduct odor inspection, as well as insure that all equipment is operating properly.
2. Each 4000V unit will have the following maintenance performed by the facility manager as recommended by Amaircare.
 - a. Replace the pre-filter every 12 months.
 - b. Replace the VOC ultra-filter every 12 months.
 - c. The HEPA filter will be replaced every 3-5 years depending on the pollution level in the environment.
 - d. The optional VOC carbon canister will be replaced every 6 months.

D. Complaint Tracking System

Connatural will take all precautionary measures to prevent any odor complaints by being proactive and implementing the use of carbon scrubbers and ONA Gel throughout the facility and in vegetation rooms and flower rooms as noted in this plan. In addition, by conducting weekly odor inspections and reports will serve as another layer of protection from odor complaints. The onsite roving security guard will be tasked with monitoring, full-time any odor and this will provide another safety layer in detecting emitting odors.

1. The facility manager will manage complaints along with community outreach to ensure that communication is strong and productive.
2. Connatural Odor Complaint Log will be used to document:
 - a. Any odor complaints and will include the date and time the odor was discovered.
 - b. Location of the facility in which the odor was discovered.
 - c. Any doors or windows were open in the facility during the reported time by reviewing our surveillance equipment.

- d. The facility manager will determine whether any changes need to be made to address the odor complaint or if it was an isolated incident due to a door being left open.

Wastewater Management Plan **(Connatural Organics Cooperative)**

Question:

1. Please describe efforts you are exercising/planning to exercise to reduce or eliminate, or otherwise control any pesticides, fertilizers, or other substances used within your cultivation process, as it relates to potential accidental discharge into the wastewater system.

Response:

1. We will not be using any pesticides within our facility that are not naturally occurring. We will be using predatory mites and nematodes as a natural defense against spider mites, thrips, aphids, and white flies. Along with predatory insects, we will be using Azadirachtin. All of the above measures will be used as sparingly as possible, and will not be applied in a way that enables them to be disposed of into the wastewater system. The Azadirachtin will be applied as a foliar spray, and not as a root drench.

Fertilizers will be applied through an automated drip irrigation system that has less than 5% runoff. While the runoff will be discharged into the wastewater system, it will be diluted significantly after leaving the plants root system.

Connatural will grow plants on a tray system, thus eliminating accidental discharge of fertilizers or other substances into the wastewater system.

Question:

2. How are pesticides, fertilizers or other substances stored, and what mechanisms (i.e., secondary containment systems) are in place to prevent an accidental discharge into the wastewater system?

Response:

2. Pesticides and fertilizers will be stored in a secure room inside of a metal cabinet secured by a lock. The floor of the room will be outfitted with a rubber pond liner as the flooring. The rubber pond liner is 45 millimeters thick and able to withstand many years of foot traffic and abuse.

Question:

3. Please describe what mechanical provisions you have in place to prevent any potential overflow of water and/or wastewater.

Response:

3. Our facility will be equipped with a fully monitored irrigation system that will notify our management team in the event of an overflow. Additionally, all of the reservoirs within our grow will have float valves which will automatically shutoff water flow to prevent overflow. Alarm water sensors will notify management in the event of an overflow. We will not be storing any wastewater to monitor.

Question:

4. Please describe with detail the “recycling” process of your irrigation system, and the anticipated percentage of unusable water as compared to water used in operations (example: “Our irrigation process will utilize approximately 90% of the water coming into our facility for irrigation purposes with approximately 10% ineligible for reuse. Our irrigation process is as follows...and results in approximately 10% of unusable water, which becomes discharged wastewater.”).

Response:

4. We will be using a Hyper-Logic commercial reverse osmosis water filtration system capable of filtering 5,800 gallons per day. This system will be used to purify the water coming into the facility, as well as purifying the condensation coming from the dehumidification system. We will be utilizing 90% of the water coming into our facility, with 10% ineligible for reuse.

Question:

5. What is the volume of water accumulating because of condensation related to your climate control system, and how do you use this water? Because this water may contain elements of pesticides, fertilizers, and/or other substances used within your operations, do you filter or otherwise recycle, and do you have secondary containment measures in place? Please describe.

Response:

5. The dehumidification system will be processing approximately 500 gallons of water per day, with 98% of that water being reused after being processed by the Hyper-Logic system. The remaining 2% will be free of pesticides and fertilizers, but there will be particulates that will be disposed of via the wastewater system.

Question:

6. Please indicate whether a water meter and backflow device have been installed at the site. If installed, please provide proof that these two items are existing on the site.

Response:

6. *We plan on outfitting the facility with a water meter and back flow device.*

APPLICABLE CODES:

1. 2013 CBC
2. 2013 EBC
3. 2013 MBC
4. 2013 PBC
5. 2013 CALIFORNIA FIRE CODE (CFC).

BUILDING INFO:

BUILDING AREA:	
(E) COMMERCIAL SPACE:	TOTAL BUILDING 9,600 SF
LOT SIZE:	22,600 SF
(N) STRUCTURE	NO
PROPOSE FLOOR AREA TOTAL:	9,600 SF
OCCUPANCY & CONSTRUCTION TYPE:	
CONST. TYPE:	TYPE V
FIRE PROTECTION:	NON-SPRINKLER
OCCUPANCY:	B
NUMBER OF STORIES:	1
MAXIMUM HEIGHT:	20'-9"
PARKING:	
NO CHANGE , SEE PARKING MATRIX	

PROPERTY DESCRIPTION:

LEGAL DESC.	
APN NO.	019-0022-007, 019-0022-023 & 019-0022-024
LOT AREA:	22,000 SF
ZONING:	C-4-R
HILLSIDE:	NO

VICINITY MAP, NTS:
3752 W PACIFIC AVE.



CONNATURAL ORGANICS COOPERATIVE INC

3752 W PACIFIC AVE.
SACRAMENTO, CA 95820

SCOPE OF WORK:

CONDITIONAL USE PERMIT, PLANS
FOR THE ENTITLEMENT APPLICATION
FOR MARIJUANA CULTIVATION IN THE
CITY OF SACRAMENTO

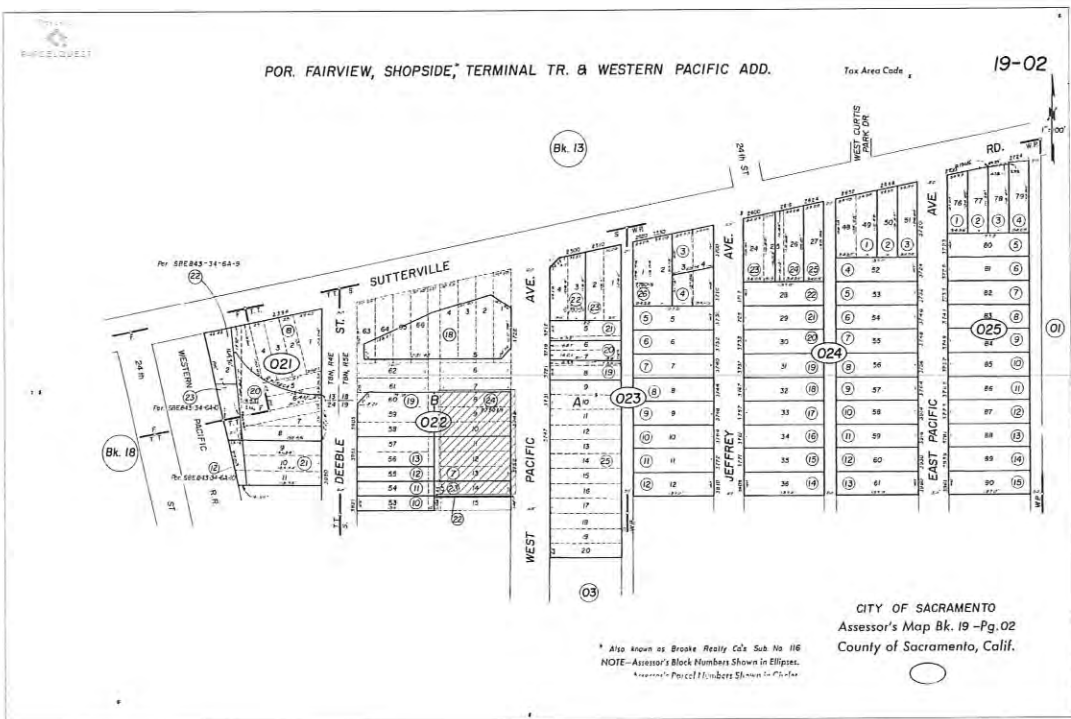
- NO ADDITIONAL SQUARE FOOTAGE PROPOSED
- INTERIOR CONSTRUCTION PROPOSED
- CHANGE IN SITE PLAN
NEW LANDSCAPING PROPOSED
- COSMETIC ALTERATION TO STOREFRONT
- NO NEW STRUCTURAL WORK PROPOSED

PARKING MATRIX

- (E) INDUSTRIAL WAREHOUSE
9,600 SF / 2000 = 5 PARKING
- (N) MARIJUANA CULTIVATION
9,600 SF / 2000 = 5 PARKING
- PROVIDED 5 PARKING
INCLUDE 1 ADA

SHEET INDEX

- CS1.0: COVER SHEET
SITE 1.0: SITE PLAN
SITE 1.1: PROPOSED SITE & CONCEPTUAL
LANDSCAPE PLAN
A1.0: EXSITING FLOOR PLAN
A2.0: PROPOSED FLOOR PLAN
A3.0: EXIT & SAFETY FLOOR PLAN
A4.0: FIXTURE & ADA FLOOR PLAN
A5.0: ROOF PLAN
A6.0: EXISTING ELEVATIONS
A6.1: PROPOSED ELEVATIONS
A7.0: CONDITION PHOTO INDEX
ADA1: ADA NOTES & DETAILS
ADA2: ADA NOTES & DETAILS
ADA3: ADA NOTES & DETAILS
ADA4: ADA NOTES & DETAILS



1/CS1.0: PARCEL MAP, NTS



OWNER:
DAVID CARLSON,
CAMPUS PLAZA ASSOCIATES
3801 WEST PACIFIC AVE. UNIT A
SACRAMENTO, CA 95820

DESIGN:
RAMON BAGUIO
4273 CANOGA AVE
WOODLAND HILLS, CA 91364
310-562-5382
RBPLANDESIGN@GMAIL.COM
WWW.CALPLANDESIGN.COM

APPLICANT:
ANDREW MAIN
3752 W PACIFIC AVE.
SACRAMENTO, CA 95820
CRAFTYDRO@GMAIL.COM

MARIJUANA CULTIVATION
3752 W PACIFIC AVE. SACRAMENTO, CA 95820

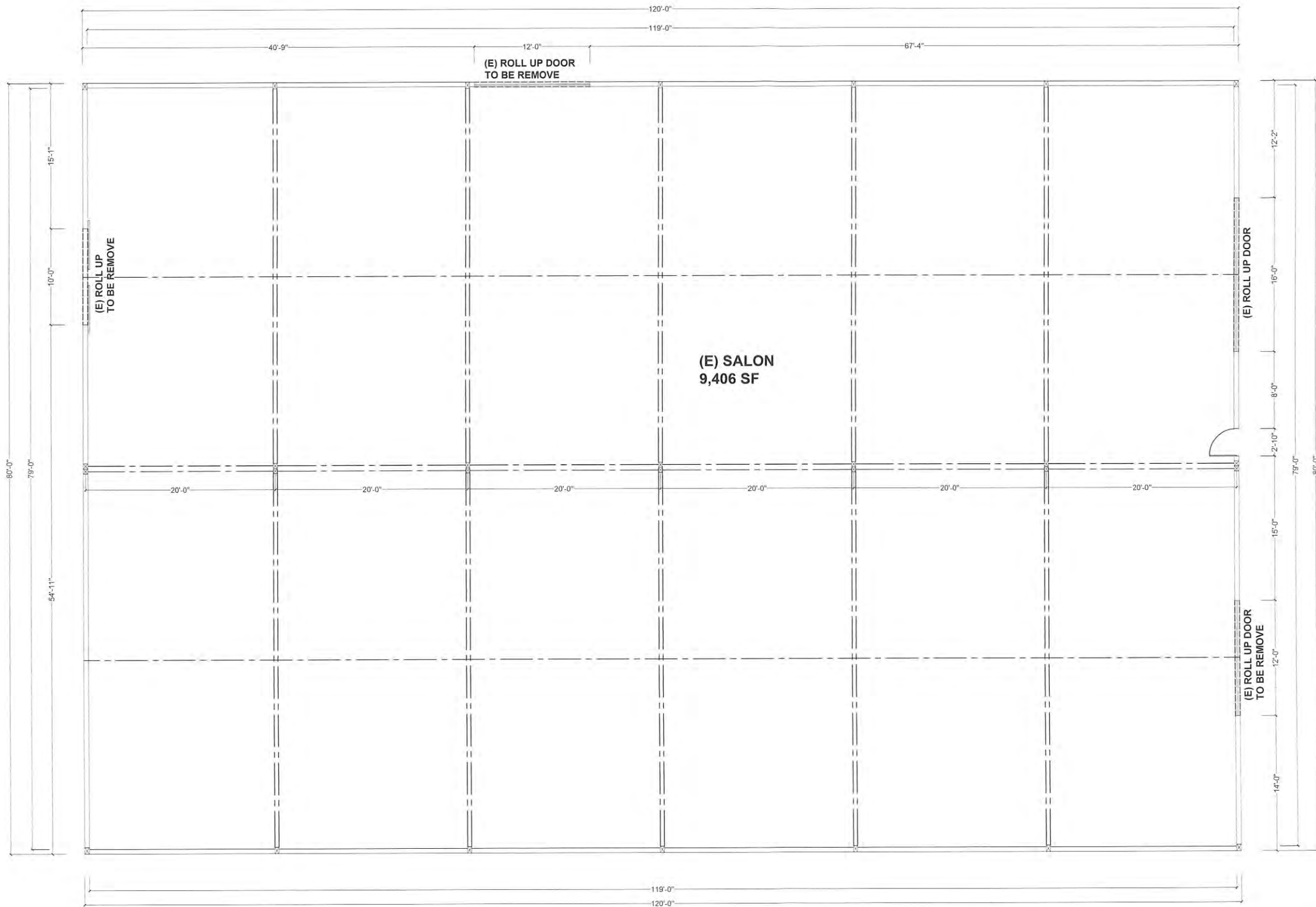
CONDITIONAL USE PERMIT, PLANS FOR THE ENTITLEMENT APPLICATION
FOR MARIJUANA CULTIVATION IN THE CITY OF SACRAMENTO

PROJECT TITLE

MARIJUANA
CULTIVATION

COVER SHEET
031517

CS1.0



1/A1.0: EXISTING FLOOR PLAN, 3/16" = 1'



- WALL LEGEND**
- (E) WALL TO REMAIN.
 - (E) ROOF TRUSS TO REMAIN.
 - (E) WALL, DOOR OR WINDOW TO BE REMOVE.

OWNER:
DAVID CARLSON,
CAMPUS PLAZA ASSOCIATES
3801 WEST PACIFIC AVE. UNIT A
SACRAMENTO, CA 95820

DESIGN:
RAMON BAGUIO
4273 CANOGA AVE
WOODLAND HILLS, CA 91364
310-562-5382
RBPLANDESIGN@GMAIL.COM
WWW.CALPLANDESIGN.COM

APPLICANT:
ANDREW MAIN
3752 W PACIFIC AVE.
SACRAMENTO, CA 95820
CRAFTYDRO@GMAIL.COM

MARIJUANA CULTIVATION

3752 W PACIFIC AVE. SACRAMENTO, CA 95820

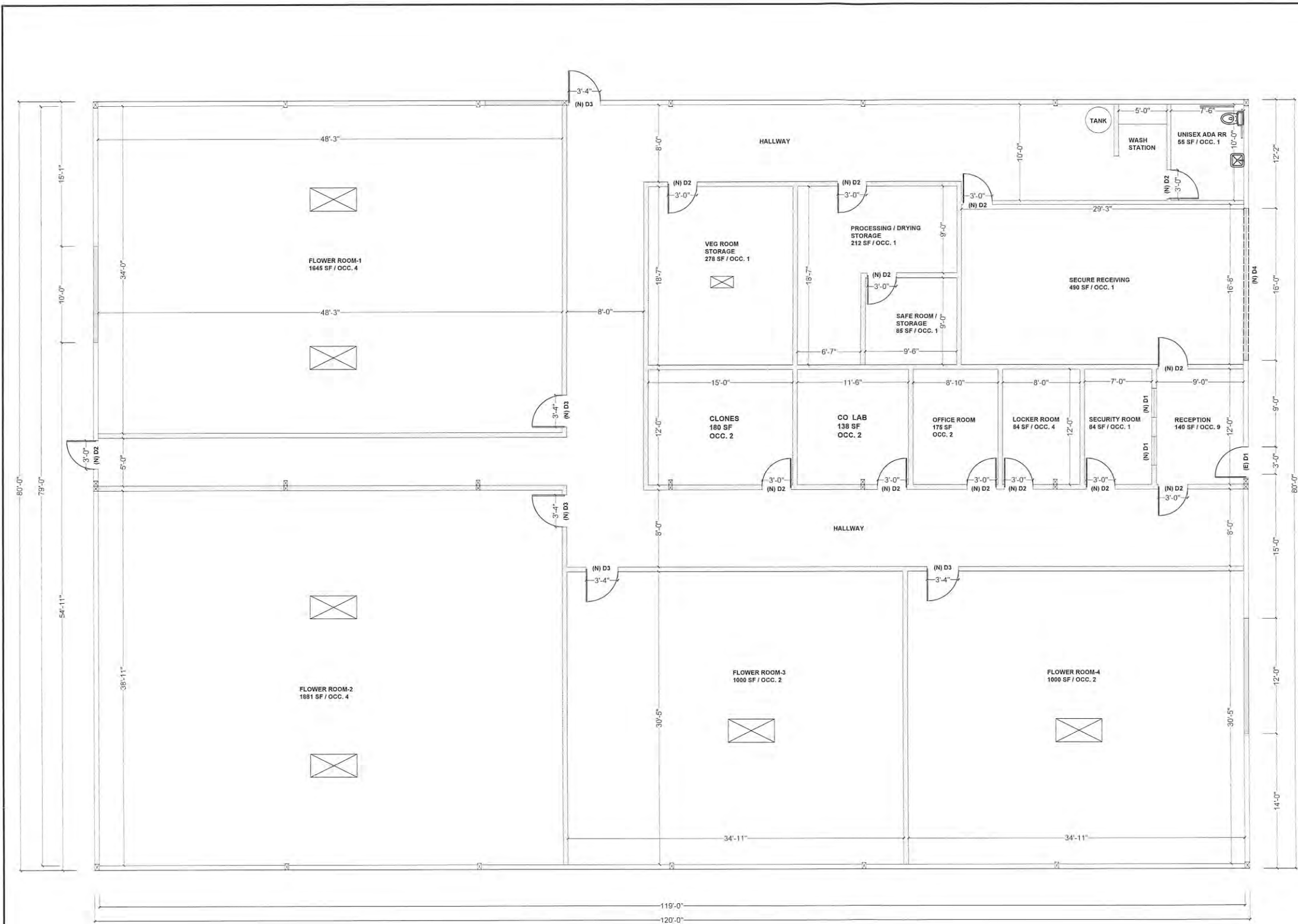
CONDITIONAL USE PERMIT, PLANS FOR THE ENTITLEMENT APPLICATION
FOR MARIJUANA CULTIVATION IN THE CITY OF SACRAMENTO

PROJECT TITLE

MARIJUANA
CULTIVATION

(E) FLOOR PLAN
031517

A1.0



1/A2.0: PROPOSED FLOOR PLAN, 3/16" = 1'



OCCUPANCY ANALYSIS

RECEPTION: 9 PERSONS
SECURITY: 1 PERSONS
OFFICE ROOM: 2 PERSONS
BREAK & LOCKER ROOM: 4 PERSONS
CO LAB: 2 PERSONS
CLONES: 2 PERSONS
VEG ROOM: 1 PERSONS
PROCESSING & DRY STORAGE: 1 PERSONS
SAFE & STORAGE ROOM: 1 PERSONS
SECURE RECEIVING: 1 PERSONS
UNISEX ADA RR: 1 PERSONS
FLOWER ROOMS 1, 2, 3 & 4: 12PERSONS

TOTAL: 37 PERSONS

SIGN TO BE INSTALLED IN CONSPICUOUS PLACE STATING THAT THE "TOTAL OCCUPANCY IS 37 PERSONS"

1 EXIT REQUIRED AND PROVIDED 3

MIN EGRESS WIDTH REQUIRED IS 37 X .3 = 11.1", (E) 36" PROVIDED

DOOR SCHEDULE

DOOR DESIGNATION	SIZE	QTY.	OPERATIONAL
(E) D1	3'-0" X 7'-0"	1	ALUM FRAMED TEMPERED GLAZED DOOR TO REAR
(N) D2	3'-0" X 6'-8"	13	SOLID WOOD CORE DOOR, TIMELY FRAME
(N) D3	3'-4" X 8'-0"	5	SOLID WOOD CORE DOOR, TIMELY FRAME
(N) D4	12'-0" X 13'-5"	1	ROLL UP DOOR TO REAR

ALL DOORS HAVE ADA LEVER HANDLE HARDWARE

DOOR NOTES

- ALL (E) ENTRANCES / EXITS TO REMAIN
- SIGN ABOVE ALL EXIT DOORS: DOORS TO REMAIN UNLOCKED DURING OPERATIONAL HOURS
- ALL (N) DOORS 6'-8" IN HEIGHT
- DOORS WITH GLASS ARE TEMPERED
- EXTERIOR DOORS TO HAVE LANDING MIN 36" WITH 2% GRADE AWAY FROM DOOR
- ALL DOORS TO BE EQUIPPED WITH ADA COMPLIANT HARDWARE
- EXIT DOORS ARE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT
- ALL DOORS ARE SELF CLOSING

WINDOW SCHEDULE

ALL WINDOWS ALU FRAMED 3/8" TEMPERED GLASS				
(E) WINDOWS TO REMAN	SIZE	GLASS	QTY.	OPERATIONAL
(N) W1	3'-0" X 4'-0"	ALUM	1	FIXED TEMPERED

WALL LEGEND

- (E) WALL TO REMAIN.
- (N) NON LOAD BEARING PARTIAL WALLS, 18 GA 2X6 METAL STUD @ 16"OC, 5/8" GWB TYPE X ON BOTH SIDES, 14' AFF
- CARBON FILTER FOR ODOR REDUCTION

OWNER:
DAVID CARLSON
CAMPUS PLAZA ASSOCIATES
3801 WEST PACIFIC AVE UNIT A
SACRAMENTO, CA 95820

DESIGN:
RAMON BAGUIO
4273 CANOGA AVE
WOODLAND HILLS, CA 91364
310-562-5382
RBLPLANDSIGN@GMAIL.COM
WWW.CALPLANDSIGN.COM

APPLICANT:
ANDREW MAIN
3762 W PACIFIC AVE.
SACRAMENTO, CA 95820
CRAFTYDRO@GMAIL.COM

MARIJUANA CULTIVATION

3752 W PACIFIC AVE. SACRAMENTO, CA 95820

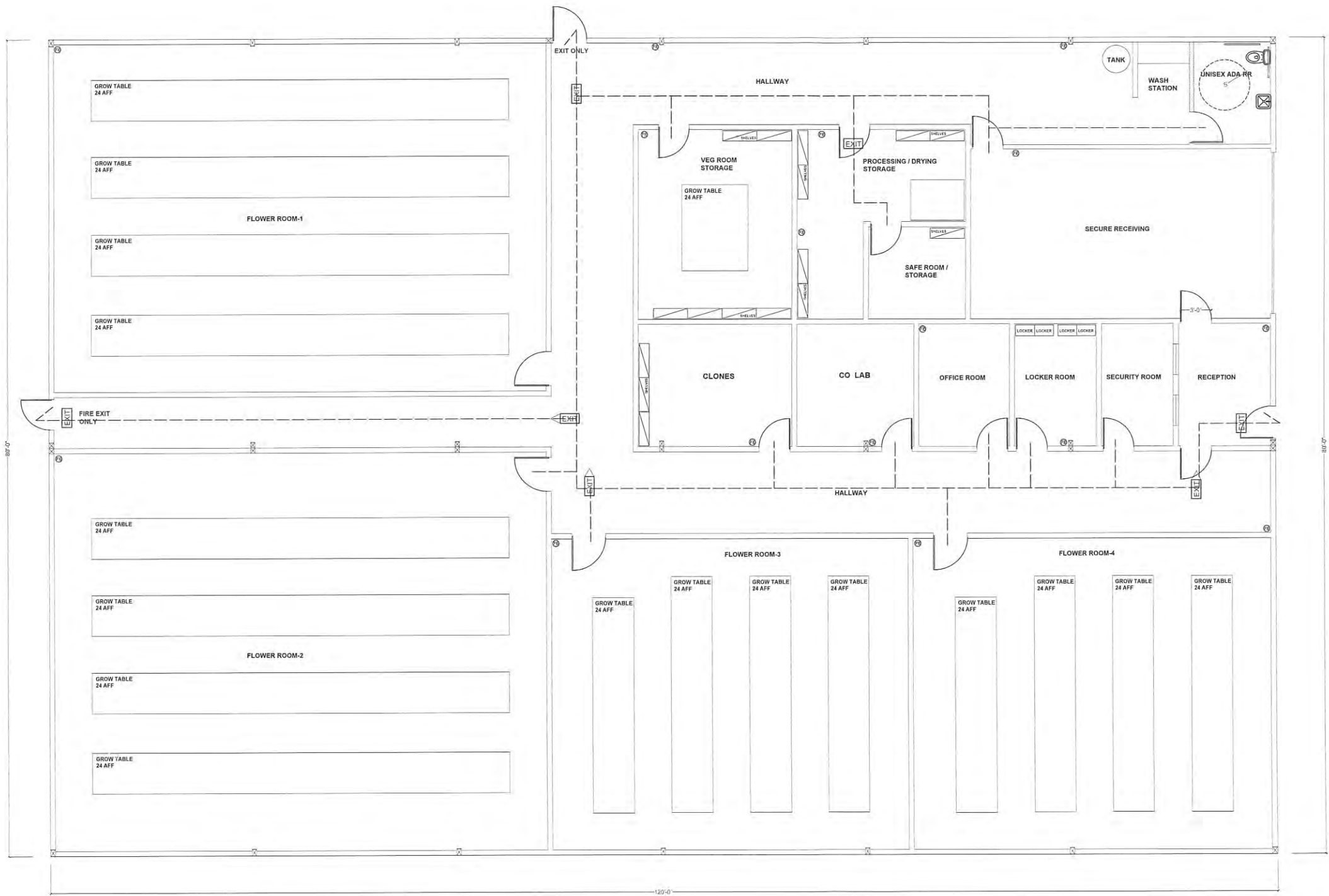
CONDITIONAL USE PERMIT, PLANS FOR THE ENTITLEMENT APPLICATION FOR MARIJUANA CULTIVATION IN THE CITY OF SACRAMENTO

PROJECT TITLE

MARIJUANA CULTIVATION

PROPOSED FLOOR PLAN 031517

A2.0



1/A3.0: EXIT & SAFETY FLOOR PLAN, 3/16" = 1'



FIRE LIFE SAFETY NOTES

EXIT DUAL POWERED ILLUMINATED EXIT SIGN
W/ "BUG-EYE"
BATTERY IS ALTERNATE POWER
SOURCE. MAIN POWER OUTAGE TO
EXECUTE BATTERY POWER

(FE) TYPE A FIRE EXTINGUISHER

**SIGN ABOVE ALL EXIT
DOORS: "DOORS TO REMAIN
UNLOCKED DURING
OPERATIONAL HOURS"**

OWNER:
DAVID CARLSON
CAMPUS PLAZA ASSOCIATES
3801 WEST PACIFIC AVE. UNIT A
SACRAMENTO, CA 95820

DESIGN:
RAMON BAGUIO
4273 CANOGA AVE
WOODLAND HILLS, CA 91364
310-562-5382
RBPLANDESIGN@GMAIL.COM
WWW.CALPLANDESIGN.COM

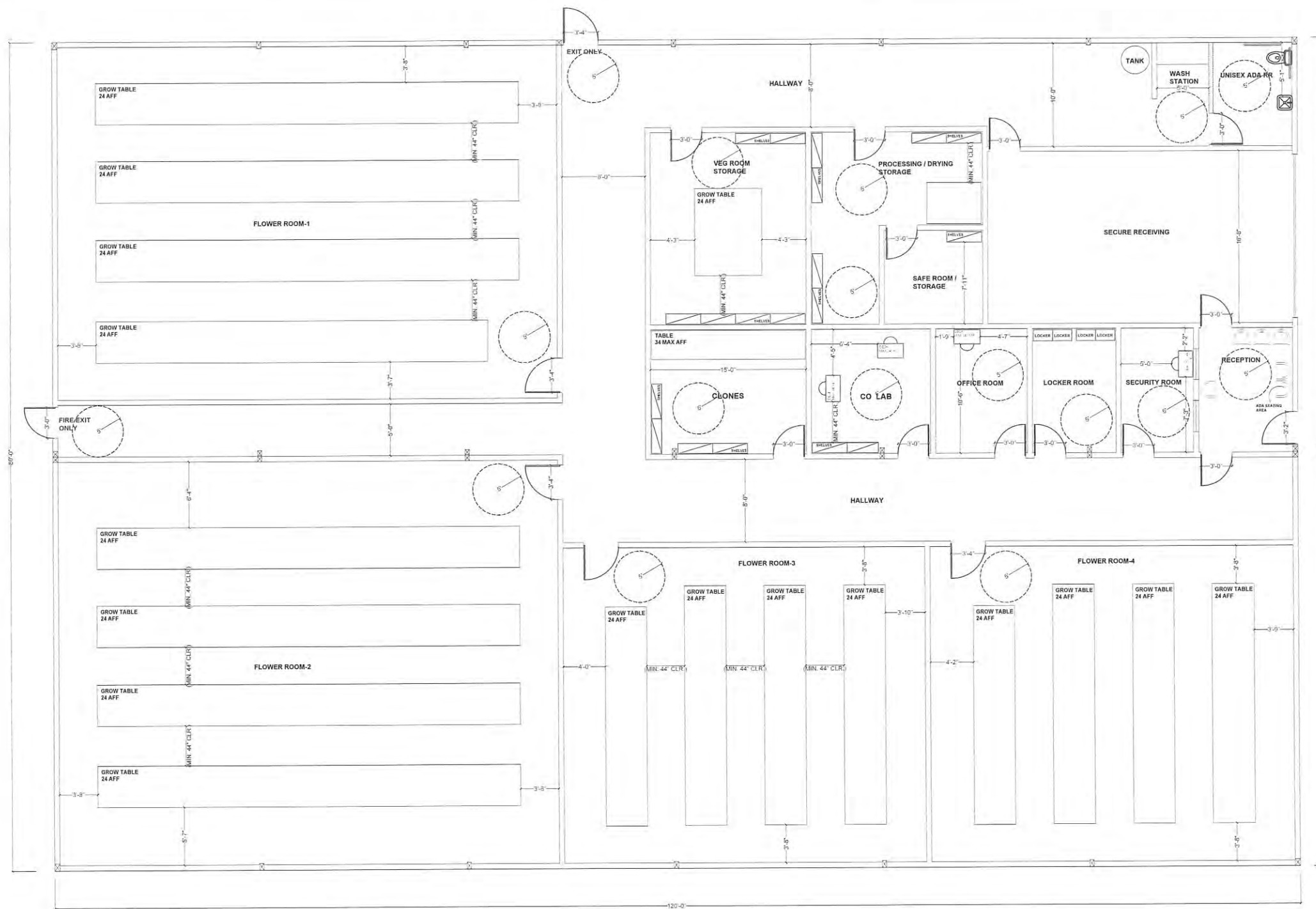
APPLICANT:
ANDREW MAIN
3752 W PACIFIC AVE.
SACRAMENTO, CA 95820
CRAFTYDRO@GMAIL.COM

MARIJUANA CULTIVATION
3752 W PACIFIC AVE. SACRAMENTO, CA 95820
**CONDITIONAL USE PERMIT, PLANS FOR THE ENTITLEMENT APPLICATION
FOR MARIJUANA CULTIVATION IN THE CITY OF SACRAMENTO**

PROJECT TITLE
**MARIJUANA
CULTIVATION**

**EXIT & SAFETY
FLOOR PLAN
031517**

A3.0



1/A4.0: FIXTURE & ADA FLOOR PLAN, 3/16" = 1'



PLUMBING FIXTURE COUNT

37 PERSONS

REQUIRED PER SEX

WOMENS 37 / 2 = 19

1 WC

1 LAV

PROVIDED:

1 WC

1 LAV

MENS 37 / 2 = 19

1 WC

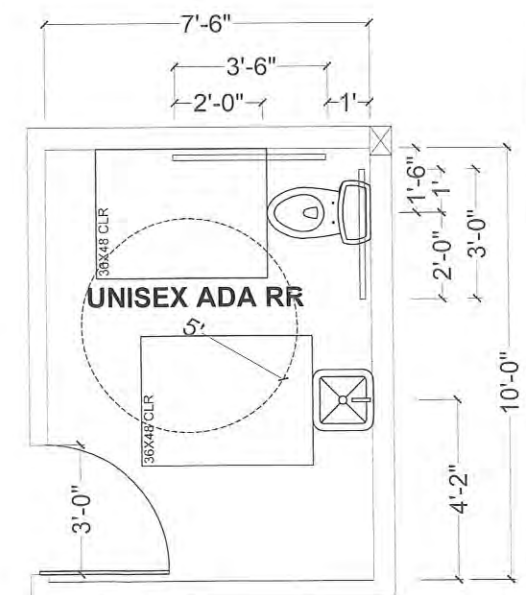
1 LAV

PROVIDED:

1 WC

1 LAV

1 (N) UNISEX ADA
COMPLIANT RESTROOM
EXISTING PROVIDED



2/A4.0: FIXTURE & ADA PLAN, 1/2" = 1'

OWNER:
DAVID CARLSON
CAMPUS PLAZA ASSOCIATES
3801 WEST PACIFIC AVE. UNIT A
SACRAMENTO, CA 95820

DESIGN:
RAMON BAGUIO
4273 CANOGA AVE
WOODLAND HILLS, CA 91364
310-562-5382
RBPLANDESIGN@GMAIL.COM
WWW.CALPLANDESIGN.COM

APPLICANT:
ANDREW MAIN
3752 W PACIFIC AVE.
SACRAMENTO, CA 95820
CRAFTYDRO@GMAIL.COM

MARIJUANA CULTIVATION

3752 W PACIFIC AVE. SACRAMENTO, CA 95820

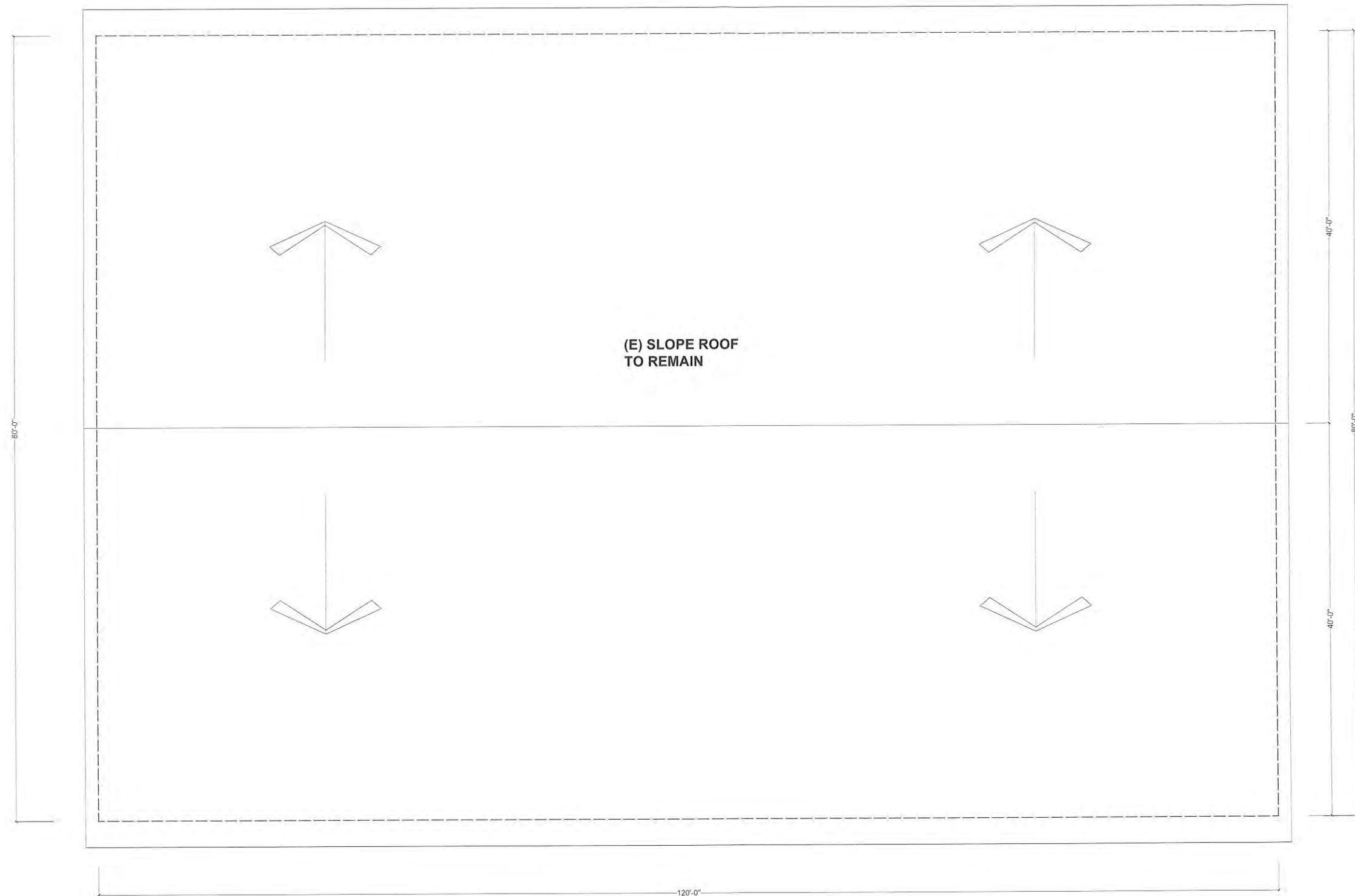
CONDITIONAL USE PERMIT, PLANS FOR THE ENTITLEMENT APPLICATION
FOR MARIJUANA CULTIVATION IN THE CITY OF SACRAMENTO

PROJECT TITLE

MARIJUANA
CULTIVATION

FIXTURE & ADA
FLOOR PLAN
031517

A4.0



(E) SLOPE ROOF
TO REMAIN

1/A5.0: ROOF PLAN, 3/16" = 1'



OWNER:
DAVID CARLSON
CAMPUS PLAZA ASSOCIATES
3801 WEST PACIFIC AVE. UNIT A
SACRAMENTO, CA 95820

DESIGN:
RAMON BAGUIO
4273 CANOGA AVE
WOODLAND HILLS, CA 91364
310-582-5382
RBPLANDESIGN@GMAIL.COM
WWW.CALPLANDESIGN.COM

APPLICANT:
ANDREW MAIN
3752 W PACIFIC AVE.
SACRAMENTO, CA 95820
CRAFTYDRO@GMAIL.COM

MARIJUANA CULTIVATION
3752 W PACIFIC AVE. SACRAMENTO, CA 95820

CONDITIONAL USE PERMIT, PLANS FOR THE ENTITLEMENT APPLICATION
FOR MARIJUANA CULTIVATION IN THE CITY OF SACRAMENTO

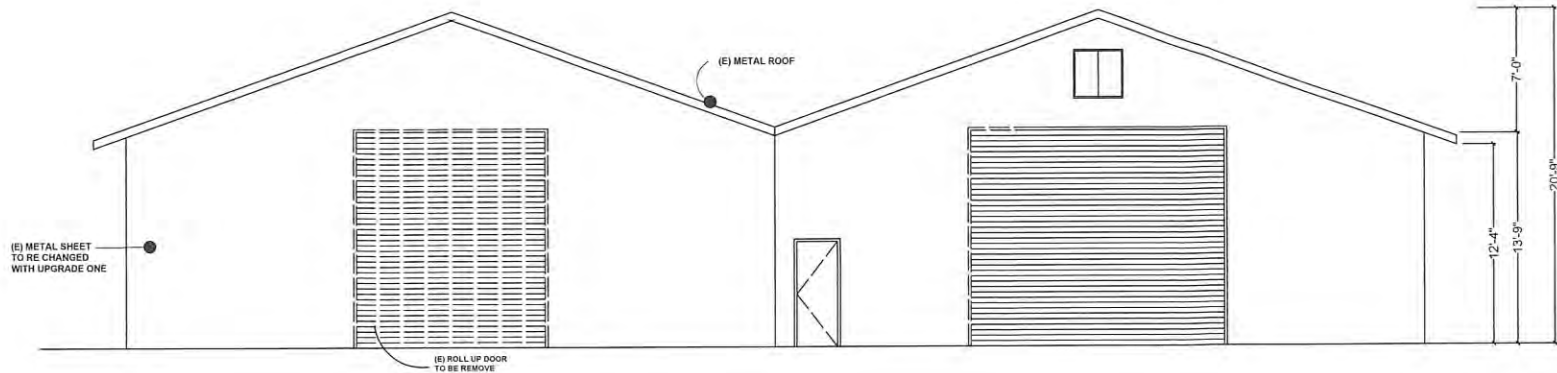
PROJECT TITLE

MARIJUANA
CULTIVATION

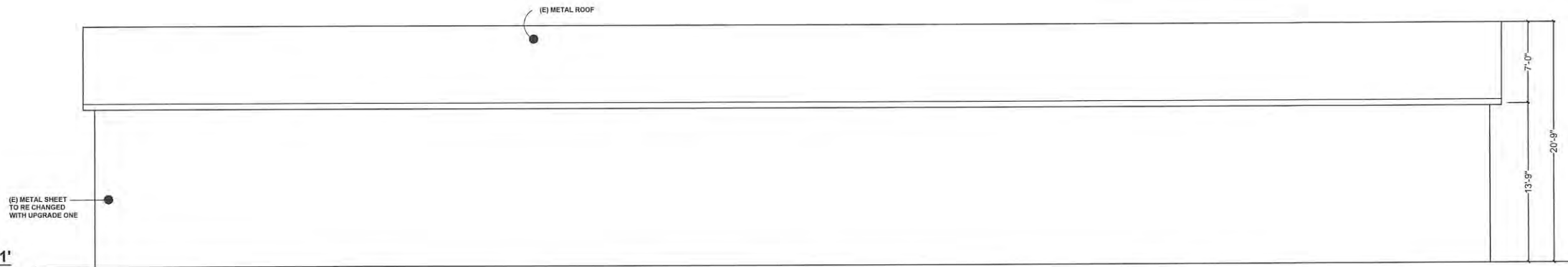
ROOF PLAN
031517

A5.0

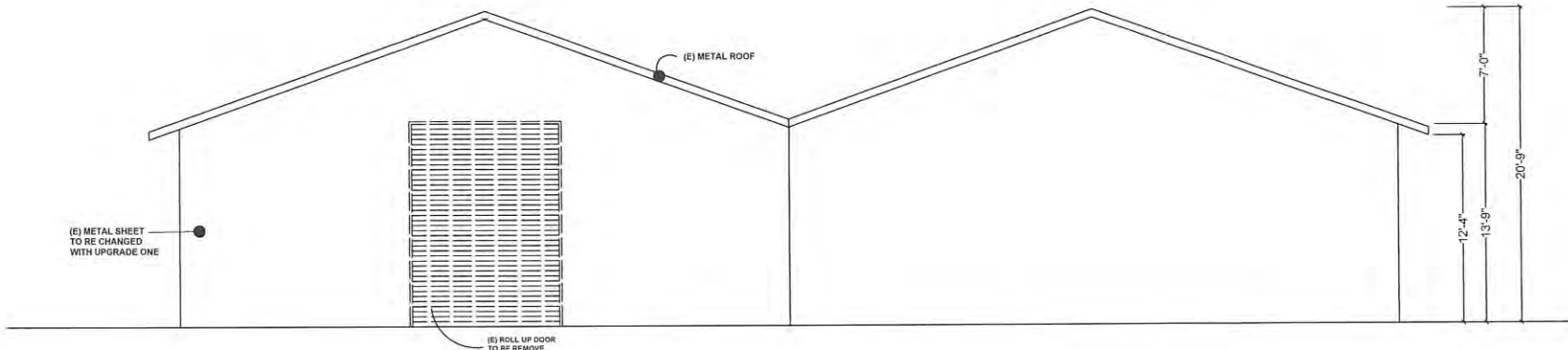
1/A6.0: (E) EAST ELEVATION, 3/16"=1'



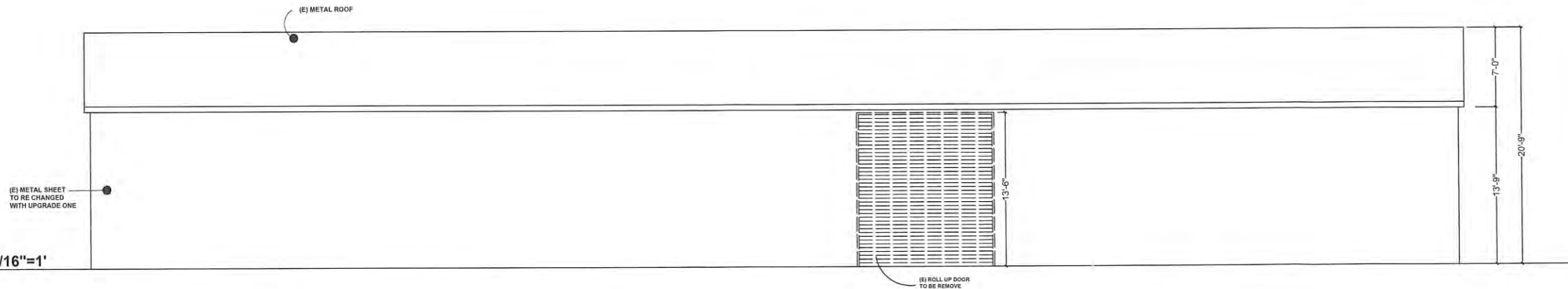
2/A6.0: (E) SOUTH ELEVATION, 3/16"=1'



3/A6.0: (E) WEST ELEVATION, 3/16"=1'



4/A6.0: (E) NORTH ELEVATION, 3/16"=1'



OWNER:
DAVID CARLSON
CAMPUS PLAZA ASSOCIATES
3801 WEST PACIFIC AVE. UNIT A
SACRAMENTO, CA 95820

DESIGN:
RAMON BAGUIO
4273 CANOGA AVE
WOODLAND HILLS, CA 91364
310-562-5382
RBPLANDSIGN@GMAIL.COM
WWW.CALPLANDSIGN.COM

APPLICANT:
ANDREW MAIN
3762 W PACIFIC AVE.
SACRAMENTO, CA 95820
CRAFTYDRO@GMAIL.COM

MARIJUANA CULTIVATION

3752 W PACIFIC AVE. SACRAMENTO, CA 95820

CONDITIONAL USE PERMIT, PLANS FOR THE ENTITLEMENT APPLICATION
FOR MARIJUANA CULTIVATION IN THE CITY OF SACRAMENTO

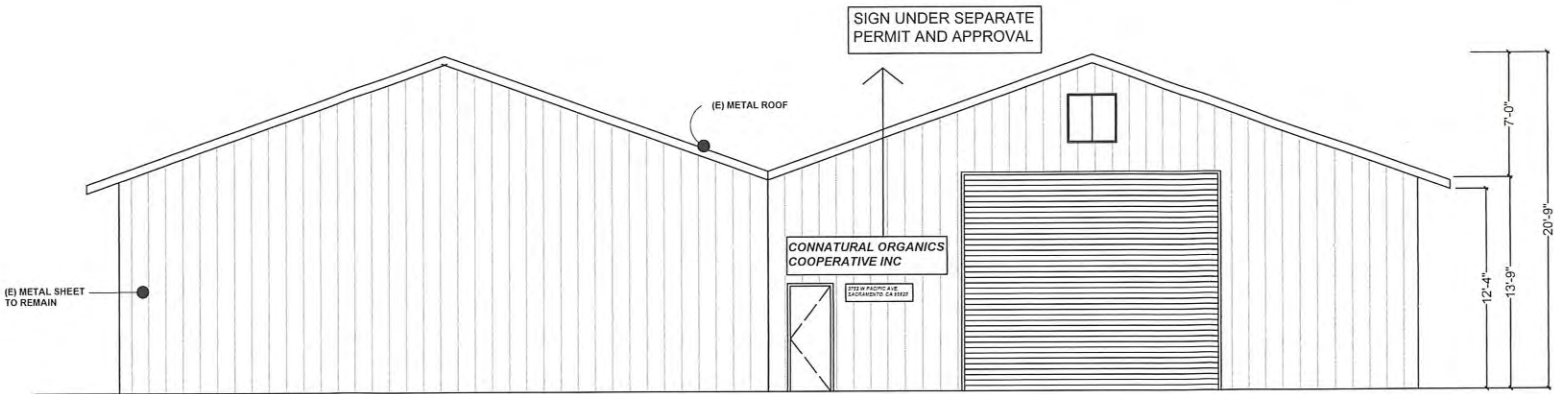
PROJECT TITLE

MARIJUANA
CULTIVATION

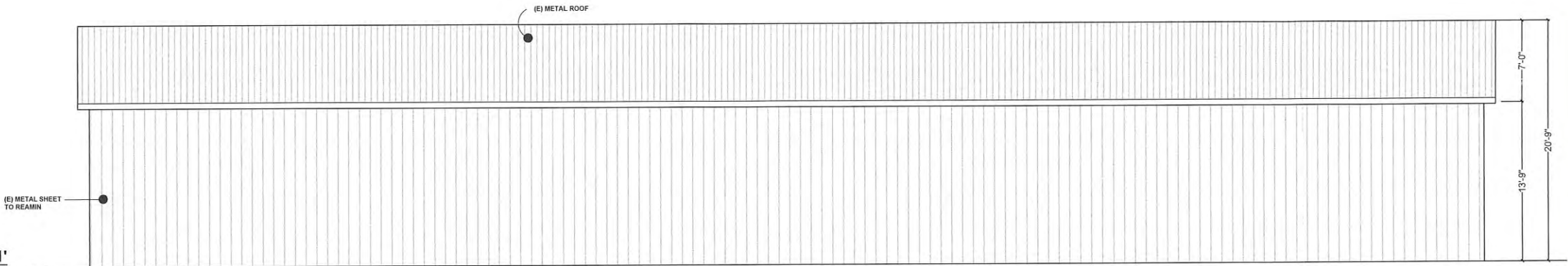
(E) ELEVATIONS
031517

A6.0

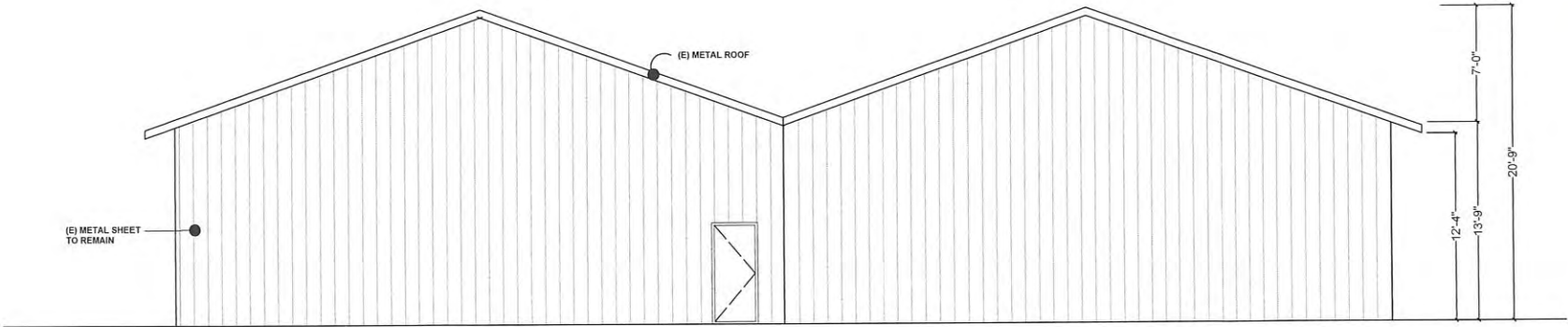
1/A6.1: (N) EAST ELEVATION, 3/16"=1'



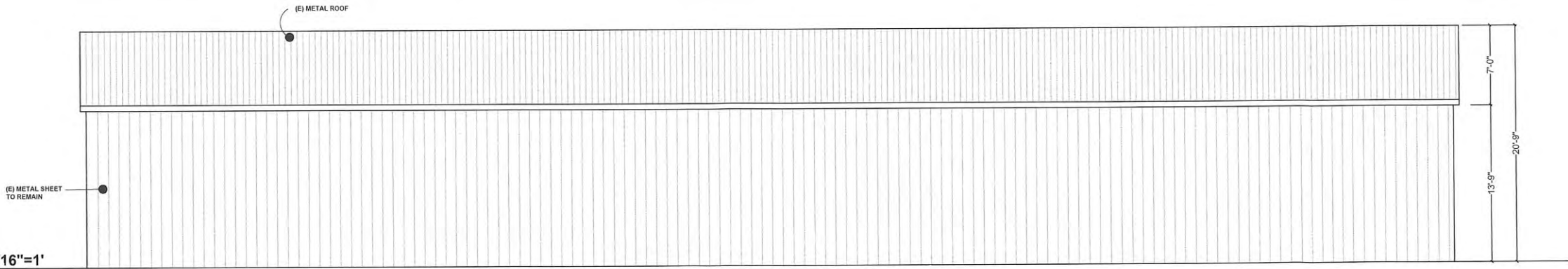
2/A6.2: (N) SOUTH ELEVATION, 3/16"=1'



3/A6.1: (N) WEST ELEVATION, 3/16"=1'



4/A6.1: (N) NORTH ELEVATION, 3/16"=1'



OWNER:
DAVID CARLSON
CAMPUS PLAZA ASSOCIATES
3801 WEST PACIFIC AVE. UNIT A
SACRAMENTO, CA 95820

DESIGN:
RAMON BAGUIO
4273 CANOGA AVE
WOODLAND HILLS, CA 91364
310-582-5382
RBPLANDESIGN@GMAIL.COM
WWW.CALPLANDESIGN.COM

APPLICANT:
ANDREW MAIN
3762 W PACIFIC AVE.
SACRAMENTO, CA 95820
CRAFTYDRO@GMAIL.COM

MARIJUANA CULTIVATION

3752 W PACIFIC AVE. SACRAMENTO, CA 95820

CONDITIONAL USE PERMIT, PLANS FOR THE ENTITLEMENT APPLICATION
FOR MARIJUANA CULTIVATION IN THE CITY OF SACRAMENTO

PROJECT TITLE

MARIJUANA
CULTIVATION

PROPOSED
ELEVATIONS
031517

A6.1



PIC # 3



PIC # 4



PIC # 5



PIC # 1

PIC # 2

PIC # 3

PIC # 4

PIC # 5



PIC # 1



PIC # 2

OWNER:
DAVID CARLSON,
CAMPUS PLAZA ASSOCIATES
3801 WEST PACIFIC AVE. UNIT A
SACRAMENTO, CA 95820

DESIGN:
RAMON BAGUIO
4273 CANOGA AVE
WOODLAND HILLS, CA 91364
310-582-5382
RBPLANDESIGN@GMAIL.COM
WWW.CALPLANDESIGN.COM

APPLICANT :
ANDREW MAIN
3762 W PACIFIC AVE.
SACRAMENTO, CA 95820
CRAFTYDRO@GMAIL.COM

MARIJUANA CULTIVATION
3752 W PACIFIC AVE. SACRAMENTO, CA 95820

CONDITIONAL USE PERMIT, PLANS FOR THE ENTITLEMENT APPLICATION
FOR MARIJUANA CULTIVATION IN THE CITY OF SACRAMENTO

PROJECT TITLE

MARIJUANA
CULTIVATION

(E) CONDITIONS
PHOTO INDEX
031517

ACCESSIBILITY DETAILS FOR PARKING

WHERE ACCESSIBLE PARKING IS REQUIRED

Where parking spaces are provided, parking spaces shall be provided in accordance with Section 11B-208.

Exception: Parking spaces used exclusively for buses, trucks, other delivery vehicles, or vehicles impound shall not be required to comply with Section 11B-208 provided that lots accessed by the public are provided with a passenger loading zone complying with Section 11B-503.

Minimum number. Parking spaces complying with Section 11B-502 shall be provided in accordance with Table 11B-208.2 except as required by Sections 11B-208.2.1, 11B-208.2.2, and 11B-208.2.3. Where more than one parking facility is provided on a site, the number of accessible spaces provided on the site shall be calculated according to the number of spaces required for each parking facility.

Hospital outpatient facilities. Ten percent of patient and visitor parking spaces provided to serve hospital outpatient facilities, and free-standing buildings providing outpatient clinical services of a hospital, shall comply with Section 11B-502.

Rehabilitation facilities and outpatient physical therapy facilities. Twenty percent of patient and visitor parking spaces provided to serve rehabilitation facilities specializing in treating conditions that affect mobility and outpatient physical therapy facilities shall comply with Section 11B-502.

Residential facilities. Parking spaces provided to serve residential facilities shall comply with Section 11B-208.2.3.

Parking for guests, employees, and other non-residents. Where parking spaces are provided for persons other than residents, parking shall be provided in accordance with Table 11B-208.2.

Requests for accessible parking spaces. When assigned parking is provided, designated accessible parking for the adaptable residential dwelling units shall be provided on requests of residents with disabilities on the same terms and with the full range of choices (e.g., off-street parking, carport or garage) that are available to other residents.

Van parking spaces. For every six or fraction of six parking spaces required by Section 11B-208.2 to comply with Section 11B-502, at least one shall be a van parking space complying with Section 11B-502.

Location. Parking facilities shall comply with Section 11B-208.3.

General. Parking spaces complying with Section 11B-502 that serve a particular building or facility shall be located on the shortest accessible route from parking to an entrance complying with Section 11B-208.4. Where parking serves more than one accessible entrance, parking spaces complying with Section 11B-502 shall be dispersed and located on the shortest accessible route to the accessible entrance. In parking facilities that do not serve a particular building or facility, parking spaces complying with Section 11B-502 shall be located on the shortest accessible route to an accessible pedestrian entrance of the parking facility.

Exceptions:

1. All van parking spaces shall be permitted to be grouped on one level within a multi-story parking facility.
2. Parking spaces shall be permitted to be located in different parking facilities if substantially equivalent or greater accessibility is provided in terms of distance from an accessible entrance or entrances, parking fee, and user convenience.

TOTAL NUMBER OF PARKING SPACES PROVIDED IN PARKING FACILITY	MINIMUM NUMBER OF REQUIRED ACCESSIBLE PARKING SPACES
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1000	2 percent of total
1001 and over	20, plus 1 for each 100, or fraction thereof, over 1000

TABLE 11B-208.2 PARKING SPACES

PASSENGER DROP-OFF AND LOADING ZONES

General. Passenger drop-off and loading zones shall comply with Section 11B-503.

Vehicle pull-up space. Passenger drop-off and loading zones shall provide a vehicle pull-up space 96 inches wide minimum and 20 feet long minimum.

Access aisle. Passenger drop-off and loading zones shall provide access aisles complying with Section 11B-503 adjacent and parallel to the vehicle pull-up space. Access aisles shall adjoin an accessible route and shall not overlap the vehicular way.

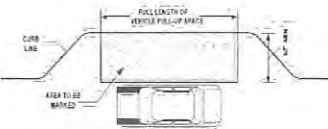


FIGURE 11B-503.3 PASSENGER DROP-OFF AND LOADING ZONE ACCESS AISLE.

Width. Access aisles serving vehicle pull-up spaces shall be 60 inches wide minimum.

Length. Access aisles shall extend the full length of the vehicle pull-up spaces they serve.

Marking. Access aisles shall be marked with a painted borderline around their perimeter. The area within the borderlines shall be marked with hatched lines a maximum of 36 inches on center in a color contrasting with that of the aisle surface.

Floor and ground surfaces. Vehicle pull-up spaces and access aisles serving them shall comply with Section 11B-502. Access aisles shall be at the same level as the vehicle pull-up space they serve. Changes in level are not permitted.

Exception: Slopes not steeper than 1:48 shall be permitted.

Vertical clearance. Vehicle pull-up spaces, access aisles serving them, and a vehicular route from an entrance to the passenger loading zone and from the passenger loading zone to a vehicular exit shall provide a vertical clearance of 114 inches minimum.

Identification. Each passenger loading zone designated for persons with disabilities shall be identified with a reflectorized sign complying with Section 11B-703.5. It shall be permanently posted immediately adjacent to and visible from the passenger loading zone stating "Passenger Loading Zone Only" and including the International Symbol of Accessibility complying with Section 11B-703.7.2.1 in white on a dark blue background.

Medical care and long-term care facilities. At least one passenger loading zone complying with Section 11B-503 shall be provided at an accessible entrance to licensed medical care and licensed long-term care facilities where the period of stay may exceed twenty-four hours.

Valet parking. Parking facilities that provide valet parking services shall provide at least one passenger loading zone complying with Section 11B-503. The parking requirements of Section 11B-208.1 apply to facilities with valet parking.

Mechanical access parking garages. Mechanical access parking garages shall provide at least one passenger loading zone complying with Section 11B-503 at vehicle drop-off and vehicle pick-up areas.

PARKING SPACES

General. Car and van parking spaces shall comply with Section 11B-502. Where parking spaces are marked with lines, width measurements of parking spaces and access aisles shall be made from the centerline of the markings.

Exception: Where parking spaces or access aisles are not adjacent to another parking space or access aisle, measurements shall be permitted to include the full width of the line defining the parking space or access aisle.

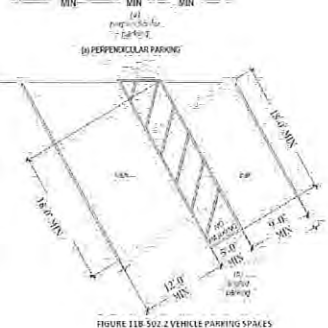
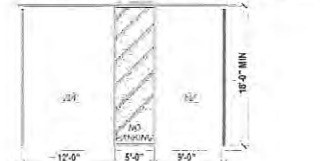


FIGURE 11B-502.2 VEHICLE PARKING SPACES

Vehicle spaces. Car and van parking spaces shall be 216 inches (18 feet) long minimum. Car parking spaces shall be 108 inches (9 feet) wide minimum and van parking spaces shall be 144 inches (12 feet) wide minimum, shall be marked to define the width, and shall have an adjacent access aisle complying with Section 11B-502.3.

Exception: Van parking spaces shall be permitted to be 108 inches (9 feet) wide minimum where the access aisle is 96 inches (8 feet) wide minimum.

Access aisle. Access aisles serving parking spaces shall comply with Section 11B-502.3. Access aisles shall adjoin an accessible route. Two parking spaces shall be permitted to share a common access aisle.

Width. Access aisles serving car and van parking spaces shall be 60 inches (5 feet) wide minimum.

Length. Access aisles shall extend the full required length of the parking spaces they serve.

Marking. Access aisles shall be marked with a blue painted borderline around their perimeter. The area within the blue borderlines shall be marked with hatched lines a maximum of 36 inches (3 feet) on center in a color contrasting with that of the aisle surface, preferably blue or white. The words "NO PARKING" shall be painted on the surface within each access aisle in white letters a minimum of 12 inches (1 foot) in height and located to be visible from the adjacent vehicular way. Access aisle markings may extend beyond the minimum required length.

Location. Access aisles shall not overlap the vehicular way. Access aisles shall be permitted to be placed on either side of the parking space except for van parking spaces which shall have access aisles located on the passenger side of the parking space.

Floor or ground surfaces. Parking spaces and access aisles serving them shall comply with Section 11B-502. Access aisles shall be at the same level as the parking spaces they serve. Changes in level are not permitted.

Exception: Slopes not steeper than 1:48 shall be permitted.

Vertical clearance. Parking spaces, access aisles and vehicular routes serving them shall provide a vertical clearance of 98 inches (2489 mm) minimum.

Identification. Parking space identification signs shall include the International Symbol of Accessibility complying with Section 11B-703.7.2.1. Signs identifying van parking spaces shall contain additional language or an additional sign with the designation "van accessible."

Signs shall be 60 inches (5 feet) minimum above the finish floor or ground surface measured to the bottom of the sign.

Exception: Signs located within an accessible route shall be a minimum of 60 inches (6 feet, 8 inches) above the finish floor or ground surface measured to the bottom of the sign.

Finish and size. Parking identification signs shall be reflectorized with a minimum area of 70 square inches.

Minimum fine. Additional language or an additional sign below the International Symbol of Accessibility shall state "Minimum Fine \$250."



FIGURE 11B-502.1.1 PERPENDICULAR PARKING IDENTIFICATION



FIGURE 11B-502.1.2 ANGLED PARKING IDENTIFICATION

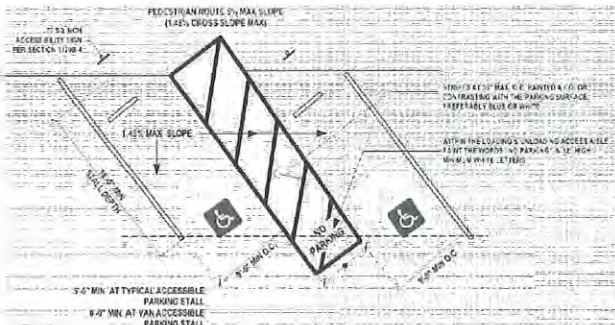


FIGURE 11B-502.1.3 ANGLED PARKING IDENTIFICATION

Location. A parking space identification sign shall be visible from each parking space. Signs shall be permanently posted either immediately adjacent to the parking space or within the projected parking space width.

Marking. Each accessible car and van space shall have surface identification complying with either Sections 11B-502.6.4.1 or 11B-502.6.4.2.

The parking space shall be marked with an International Symbol of Accessibility complying with Section 11B-703.7.2.1 in white on a blue background a minimum 36 inches wide by 36 inches high. The centerline of the International Symbol of Accessibility shall be a maximum of 6 inches from the centerline of the parking space, its sides parallel to the length of the parking space and its lower corner at, or lower side aligned with, the end of the parking space length.

The parking space shall be outlined or painted blue and shall be marked with an International Symbol of Accessibility complying with Section 11B-703.7.2.1 a minimum 36 inches wide by 36 inches high in white or a suitable contrasting color. The centerline of the International Symbol of Accessibility shall be a maximum of 6 inches from the centerline of the parking space, its sides parallel to the length of the parking space and its lower corner at, or lower side aligned with, the end of the parking space.

Relationship to accessible routes. Parking spaces and access aisles shall be designed so that cars and vans, when parked, cannot obstruct the required clear width of adjacent accessible routes.

11B-502.7.1 Arrangement. Parking spaces and access aisles shall be designed so that persons using them are not required to travel behind parking spaces other than to pass behind the parking space in which they parked.

11B-502.7.2 Wheel stops. A curb or wheel stop shall be provided if required to prevent encroachment of vehicles over the required clear width of adjacent accessible routes.

11B-502.8 Additional signage. An additional sign shall be posted either:

- 1) In a conspicuous place at each entrance to an off-street parking facility or
- 2) Immediately adjacent to on-site accessible parking and visible from each parking space.

11B-502.8.1 Size. The additional sign shall not be less than 17 inches wide by 22 inches high.

11B-502.8.2 Lettering. The additional sign shall clearly state in letters with a minimum height of 1 inch the following:

"Unauthorized vehicles parked in designated accessible spaces not displaying distinguishing placards or special license plates issued for persons with disabilities will be towed away at the owner's expense. Towed vehicles may be reclaimed at: _____ or by telephoning _____"

Blank spaces shall be filled in with appropriate information as a permanent part of the sign. (NOTE: Towing Co.'s Name and Telephone Number must be noted on the detail sheets on the plans.)

ACCESSIBLE PARKING SIGN INSTALLED AT EACH SPACE

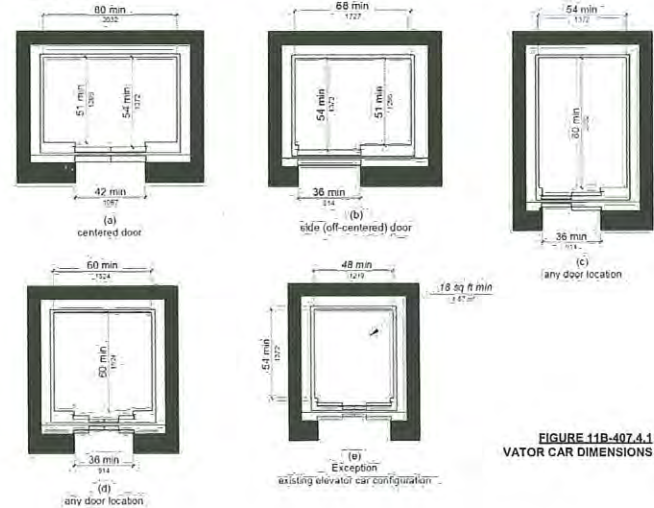
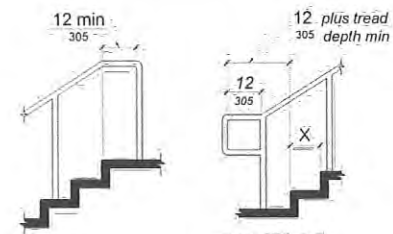
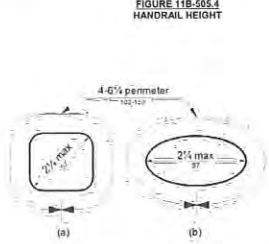
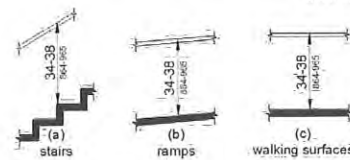
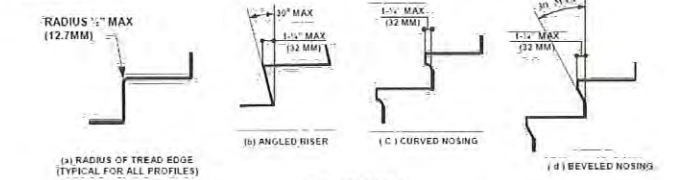
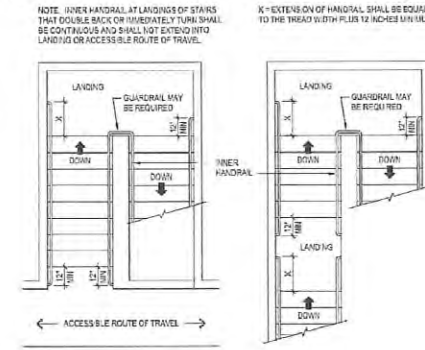
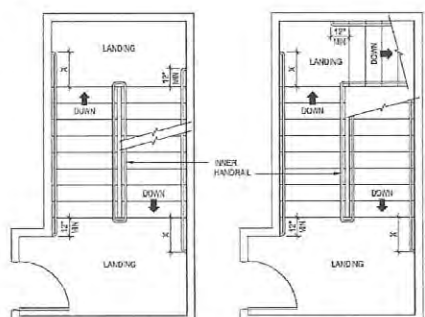
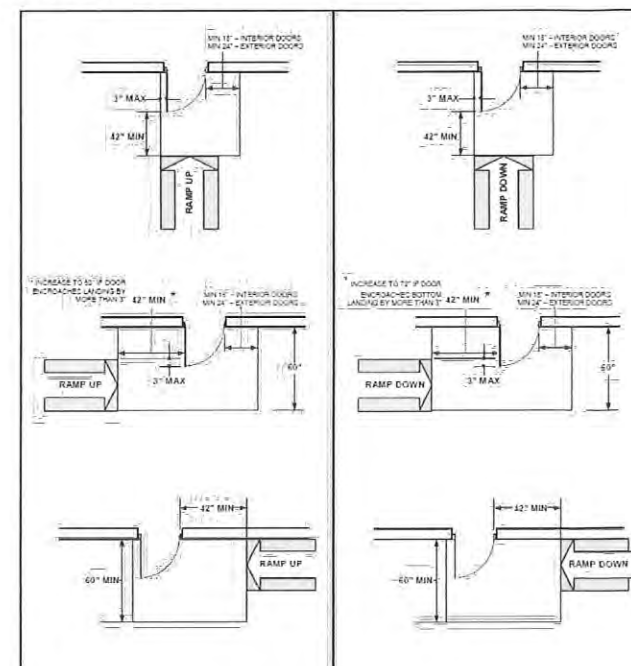
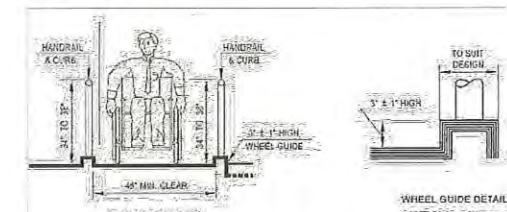
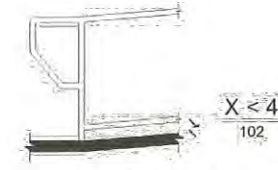
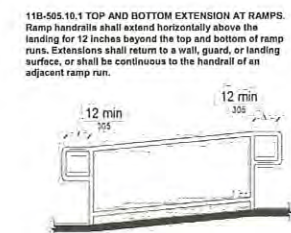
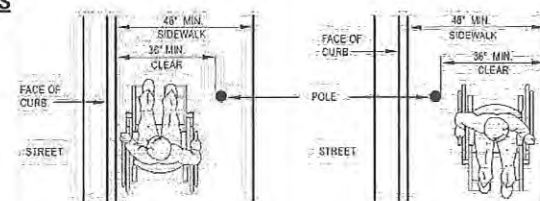
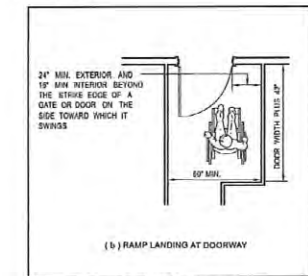
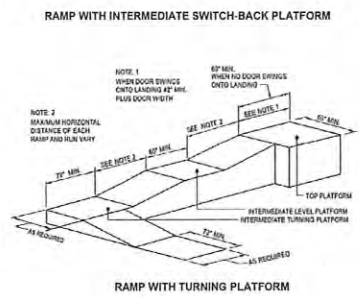
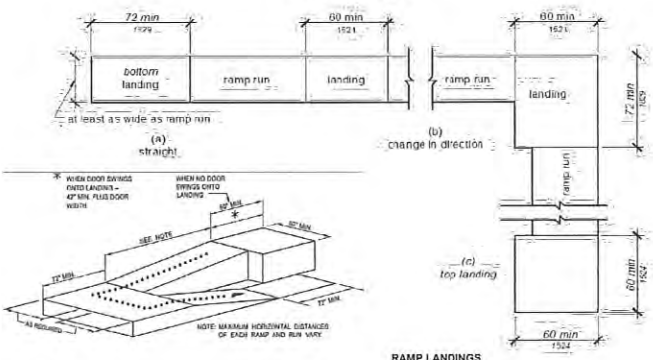


DESIGN:
RAMON BAGUIO
4273 CANOGA AVE
WOODLAND HILLS, CA
310-562-5382
RBPLANDESIGN@GMAIL.COM
WWW.CALPLANDESIGN.COM

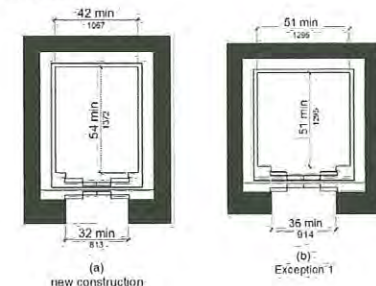
STANDARD ACCESSIBILITY DETAILS

ADA NOTES
DETAILS

ADA1



MINIMUM DIMENSIONS				
DOOR LOCATION	DOOR CLEAR WIDTH	INSIDE CAR, SIDE TO SIDE	INSIDE CAR, BACK WALL TO FRONT RETURN	INSIDE CAR, BACK WALL TO INSIDE FACE OF DOOR
Centered	42 inches	80 inches	51 inches	54 inches
Side (off-centered)	36 inches	68 inches	51 inches	54 inches
Any	36 inches	54 inches	80 inches	80 inches
Any	36 inches	60 inches	60 inches	60 inches



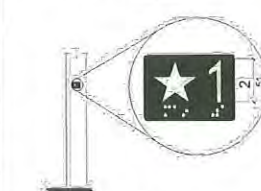
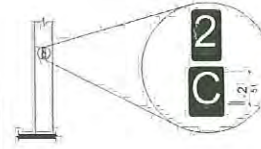
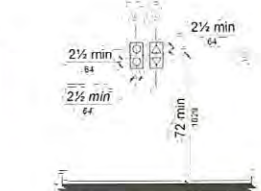
Door and signal timing. The minimum acceptable time from notification to the start of a car answering a call or notification of the car assigned at the means for the entry of destination information until the doors of that car start to close shall be calculated from the following equation:

$$T = D(1.15 \text{ ft/s}) \text{ or } T = D(455 \text{ mm/s}) + 5 \text{ seconds minimum where } T \text{ equals the total time in seconds and } D \text{ equals the distance (in feet or millimeters) from the point of the lobby or corridor 60 inches (1524 mm) directly in front of the farthest call button controlling that car to the centerline of its hoistway door. (11B-407.3.4)}$$

Exceptions:

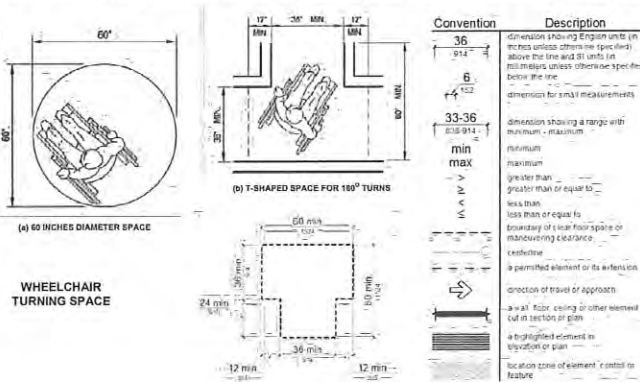
1. For cars with in-car lamens, *T* shall be permitted to begin when the signal is visible from the point 60 inches (1524 mm) directly in front of the farthest hall call button and the audible signal is sounded.
2. Destination-oriented elevators shall not be required to comply with Section 11B-407.3.4.

Door delay. Elevator doors shall remain fully open in response to a car call for 5 seconds minimum. (11B-407.3.5)

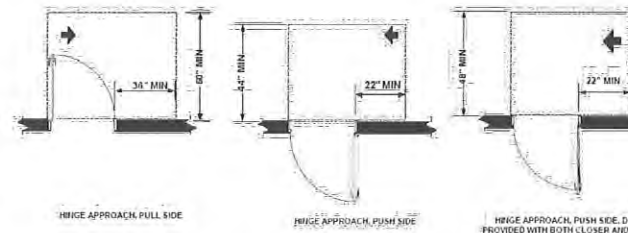
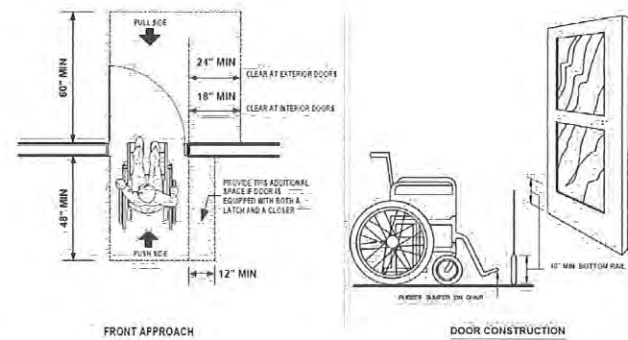


ACCESSIBILITY DETAILS FOR DOORS, MANEUVERING SPACES & ROUTES

UNLESS SPECIFICALLY STATED OTHERWISE, FIGURES ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. (11B-104.3 FIGURES)



DOORS & MANEUVERING SPACE



DOORS & MANEUVERING SPACE

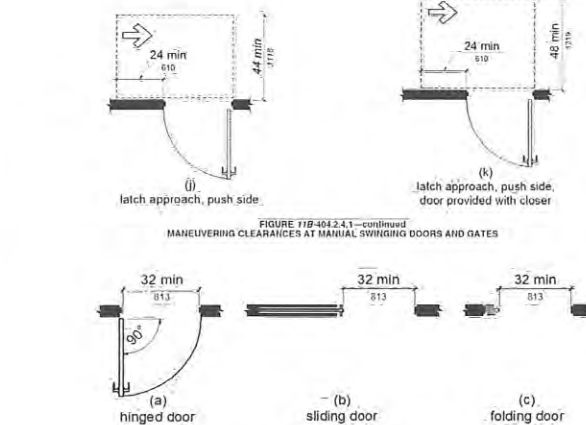


TABLE 11B-404.2.3
MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS AND GATES

APPROACH DIRECTION	DOOR OR GATE SIDE	MINIMUM MANEUVERING CLEARANCE	
		PERPENDICULAR TO DOORWAY	PARALLEL TO DOORWAY (beyond latch side unless noted)
From front	Pull	60 inches	18 inches
From front	Push	48 inches	0 inches
From hinge side	Pull	60 inches	36 inches
From hinge side	Push	44 inches	22 inches
From latch side	Pull	60 inches	24 inches
From latch side	Push	44 inches	24 inches

1. ADD 12 INCHES IF CLOSER AND LATCH ARE PROVIDED.
2. ADD 4 INCHES IF CLOSER AND LATCH ARE PROVIDED.
3. BEYOND HINGE SIDE.
4. ADD 4 INCHES IF CLOSER IS PROVIDED.
5. ADD 4 INCHES AT EXTERIOR SIDE OF EXTERIOR DOORS.

DOORS & MANEUVERING SPACE

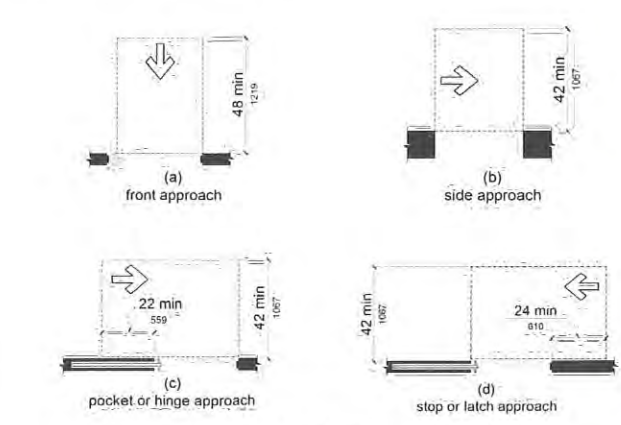
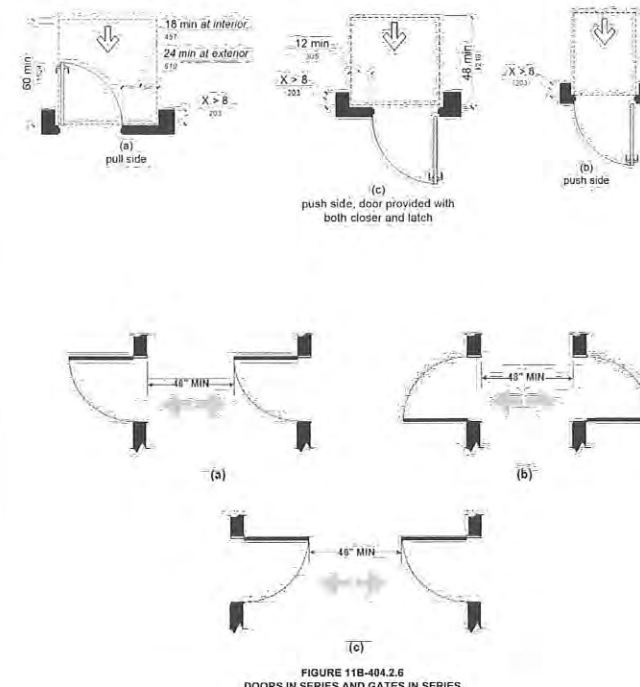


TABLE 11B-404.2.4.2
MANEUVERING CLEARANCES AT DOORWAYS WITHOUT DOORS OR GATES
MANUAL SLIDING DOORS AND MANUAL FOLDING DOORS

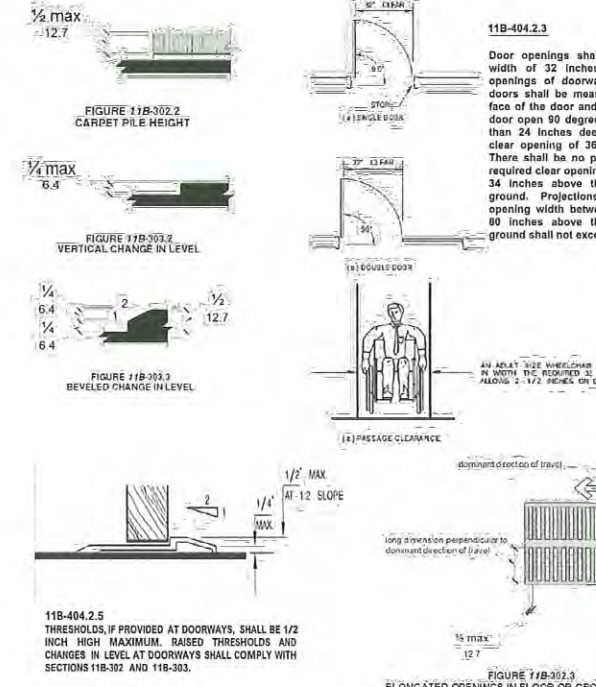
APPROACH DIRECTION	MINIMUM MANEUVERING CLEARANCE	
	PERPENDICULAR TO DOORWAY	PARALLEL TO DOORWAY (beyond stop/latch side unless noted)
From front	48 inches	0 inches
From side	42 inches	0 inches
From pocket/hinge side	42 inches	22 inches
From stop/latch side	42 inches	24 inches

1. Doorway with no door only.
2. Beyond pocket/hinge side.

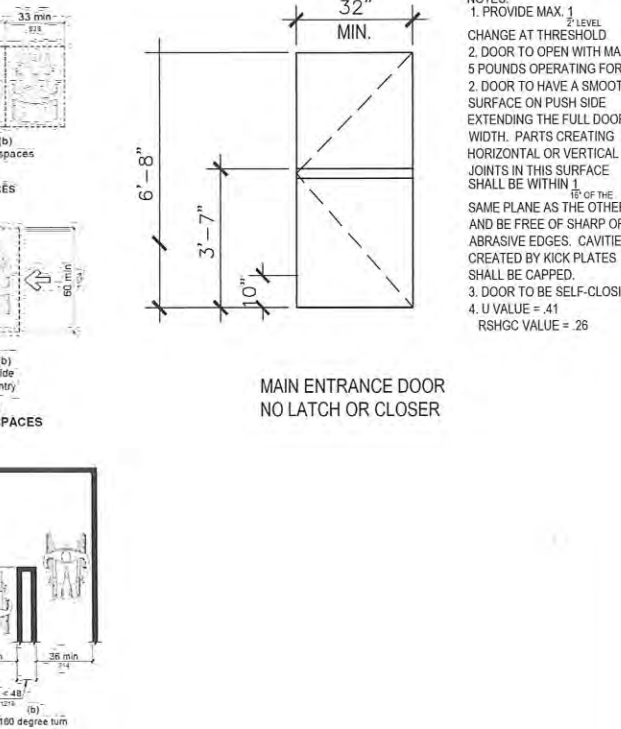
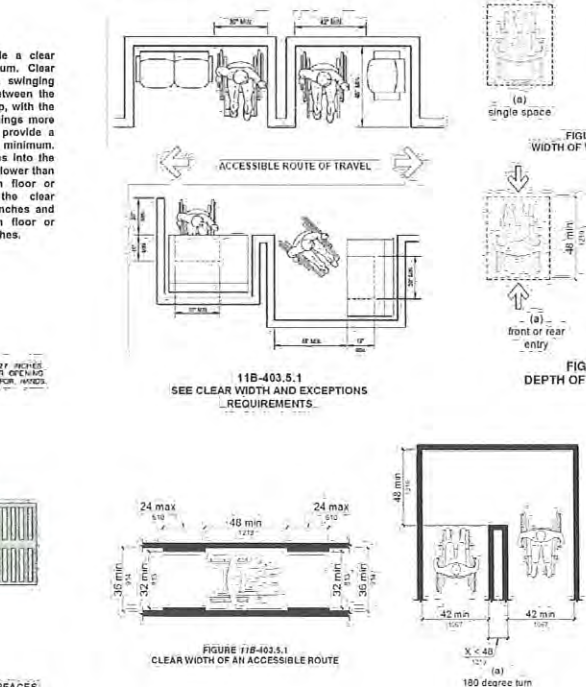
DOORS & MANEUVERING SPACE



ACCESSIBLE ROUTES



ACCESSIBLE ROUTES



NOTES:
1. PROVIDE MAX. 1/2" LEVEL CHANGE AT THRESHOLD.
2. DOOR TO OPEN WITH MAX. 5 POUNDS OPERATING FORCE.
3. DOOR TO HAVE A SMOOTH SURFACE ON PUSH SIDE EXTENDING THE FULL DOOR WIDTH. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN THIS SURFACE SHALL BE WITHIN 1/8" OF THE SAME PLANE AS THE OTHER AND BE FREE OF SHARP OR ABRASIVE EDGES. CAVITIES CREATED BY KICK PLATES SHALL BE CAPPED.
4. U VALUE = .41
RSHGC VALUE = .26

STANDARD ACCESSIBILITY DETAILS

DESIGN:
RAMON BAGUIO
4273 CANOGA AVE
WOODLAND HILLS, CA
310-562-5382
RBPLANDESIGN@GMAIL.COM
WWW.CALPLANDESIGN.COM

ADA NOTES
DETAILS

ADA3

